

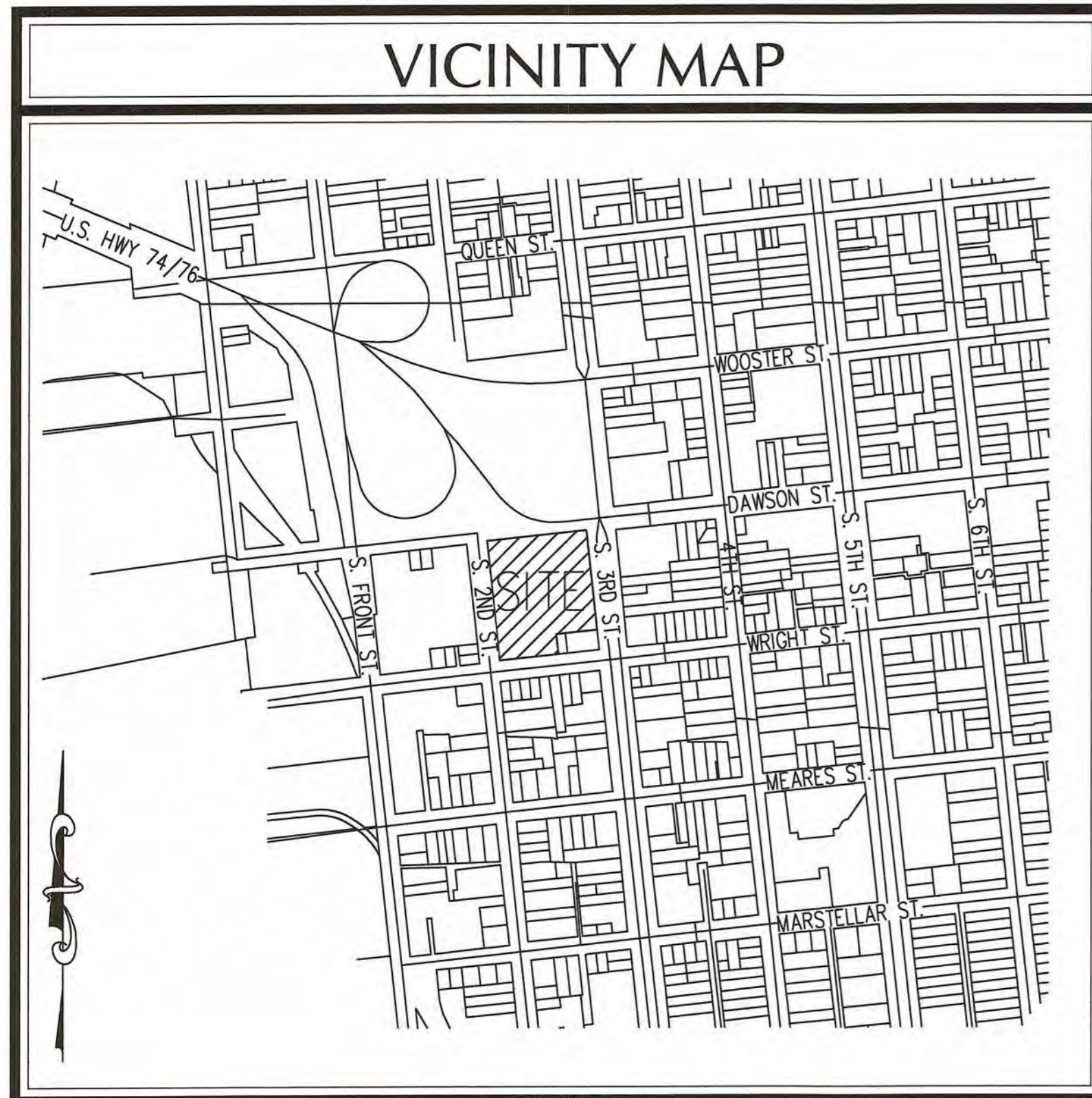
SITE DEVELOPMENT PLAN

FOR

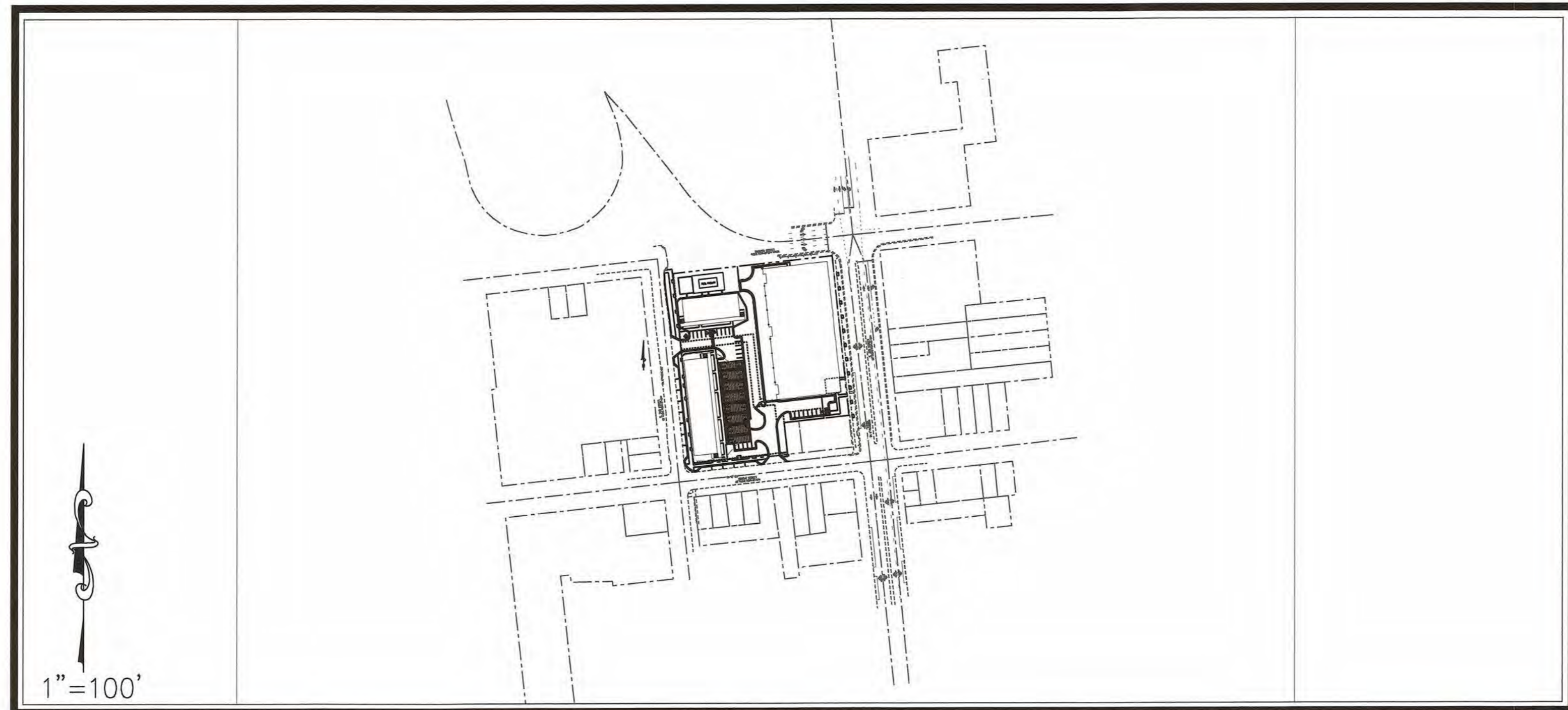
PINNACLE 3RD STREET

WILMINGTON, NORTH CAROLINA

AUGUST 2018



VICINITY MAP
(NTS)



1" = 100'

DESCRIPTION	EXISTING	PROPOSED
1' CONTOUR INTERVAL	-----	-----
5' CONTOUR INTERVAL	-----	-----
PROPERTY LINE	-----	-----
ROADWAY CENTERLINE	-----	-----
RIGHT OF WAY LIMITS	-----	-----
EASEMENT LINE	-----	-----
CURB & GUTTER	-----	-----
SANITARY SEWER FACILITIES	-----	-----
STORM SEWER FACILITIES	-----	-----
WATERLINE	-----	-----
FIRE HYDRANT ASSEMBLY	-----	-----
WATERWAYS	-----	-----
PROPOSED LOT AND S.F.	X	X
OPEN SPACE LABEL	(A)	(A)
OPEN SPACE	-----	-----
BUILDING SET BACKS	-----	-----
PRIVATE SANITARY SET BACKS	-----	-----
	STREET SIGN	STREET SIGN
	404 WETLANDS	404 WETLANDS
	FLOW DIRECTION	FLOW DIRECTION

DEVELOPER/OWNER

ROBERT HIGH DEVELOPMENT, LLC
223 GREENVILLE AVENUE
WILMINGTON, NC 28403
PHONE: (910) 790-9490

PREPARED BY:

GSP CONSULTING, PLLC
ENGINEERING

6626 Gordon Road, Unit C, Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659 License # P-0718

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SITE DATA TABLE		
GENERAL NOTES:		
1.	NEW HANOVER COUNTY PARCEL NOS: PIN 311716.83.7834.000 / PID R05413-003-001-000 PIN 311716.84.6177.000 / PID R05409-032-001-000 PIN 311716.84.9008.000 / PID R05409-032-002-000 SITE ADDRESS: 201 WRIGHT STREET	
2.	TOTAL TRACT AREA: 2.81 AC.± (122,286 S.F.) DISTURBED AREA - 2.81 AC.±	
3.	ZONING DISTRICT: UMX SETBACKS: NO SETBACKS REQUIRED.	
4.	THIS PROPERTY IS NOT WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA FLOOD INSURANCE RATE MAP #3720311700L, EFFECTIVE DATE AUGUST 28, 2018.	
5.	CAMA LAND CLASSIFICATION: URBAN.	
DEVELOPMENT DATA:		
TOTAL TRACT AREA = 2.81 AC. (122,286 S.F.) STORAGE TRACT AREA = 1.21 AC. (52,684 S.F.) MULTI-FAMILY TRACT AREA = 1.60 AC. (69,602 S.F.)		
CONSTRUCTION TYPES: STORAGE - TYPE 2B MULTI-FAMILY - TYPE VB - SPRINKLED		
MULTI-FAMILY DENSITY - 25 UNITS/AC. PROPOSED DENSITY 40 UNITS/1.60 AC. = 25 UNITS/AC		
BUILDING COVERAGE - 54,284 S.F. (44.4%) 2-2 STORY APARTMENT BUILDINGS AND 1-2 STORY MINI-WAREHOUSE BUILDING		
TOTAL GROSS FLOOR AREA - 108,600 S.F. GFA MINI-WAREHOUSING = 71,000 S.F.± APARTMENTS = 37,600 S.F.± 108,600 SF (88.8%)		
TOTAL BEDROOMS - 80 40 X 2 BR = 80 BR		
BUILDING HEIGHT - MAXIMUM - 45' MEAN ROOF PROPOSED - STORAGE BUILDING - 32'-10" MULTI-FAMILY - 30'		
PARKING - REQUIRED: 40 - 2 BR UNITS X 2.5 MAX. SP./UNIT = 100 900 SF OFFICE - 1 SP./200 SF = 5 ** 105 MAXIMUM SPACES **		
PROVIDED: 63 ONSITE SPACES W/5 HC SPACES 19 STREET SPACES ** 82 TOTAL SPACES PROV'D. (5 H/C) **		
PER ADA REGS FOR PARKING FACILITY WITH 51-75 SPACES 3 H/C SPACES REQUIRED BIKE PARKING REQ'D = 1 SPACE/DWELLING UNIT & 2 SPACES/OFFICE SPACE = 38+2=40 BIKE PARKING PROV'D = 40		
NEW IMPERVIOUS SURFACES -		
BUILDINGS - 18,340 S.F.	STORAGE 35,944 S.F.	TOTALS 54,284 S.F.
PAVEMENT - 23,490 S.F.	9,004 S.F.	32,494 S.F.
CONCRETE - 2,688 S.F.	645 S.F.	3,333 S.F.
POOL FACILITY - 3,500 S.F.	0 S.F.	3,500 S.F.
TOTAL - 48,018 S.F. (69.0%)	45,593 S.F. (86.5%)	93,611 S.F. (76.6%)
UTILITY CAPACITY REQUESTS:		
PROPOSED SEWER CAPACITY - 40 UNITS @ 240 GPD/BR + 900 SF OFFICE SPACE @ 60 GPD/100SF + 20 PERSON CLUBHOUSE @ 10 GPD/PERSON = 9,600 GPD + 540 GPD + 200 GPD = 10,340 GPD		
PROPOSED WATER CAPACITY - 40 UNITS @ 400 GPD/BR + 900 SF OFFICE SPACE @ 60 GPD/100SF + 20 PERSON CLUBHOUSE @ 10 GPD/PERSON = 16,000 GPD + 540 GPD + 200 GPD = 16,740 GPD		
Approved Construction Plan		
Planning: <i>[Signature]</i> 4-23-19	Name: _____ Date: _____	
Traffic: <i>[Signature]</i> 4-23-19		
Fire: <i>[Signature]</i> 4-23-19		
NOTE: ALL DESIGN AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE, TECHNICAL STANDARDS MANUAL & THE STATE OF NORTH CAROLINA		

COORDINATION NOTES

1. THE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
2. ALL WORK IS TO BE IN ACCORDANCE WITH CITY OF WILMINGTON, NEW HANOVER COUNTY, THE CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) AND THE STATE OF NORTH CAROLINA.
3. THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
4. ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.

GENERAL NOTES:

1. EXISTING TOPOGRAPHY, BOUNDARY AND UTILITIES, HAVE BEEN PREPARED BY FIELD SURVEY BY ATLANTIC COAST SURVEY, PLLC., PREVIOUSLY APPROVED PLANS AND OTHER AVAILABLE INFORMATION.
2. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC....
3. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
4. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE DOT.
5. ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
6. ALL WORK BY THE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
7. CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT 1 (800) 632-4949 AND ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.
8. CONTRACTOR SHALL REMOVE ASPHALT, AGGREGATE BASE COURSE, AND CONCRETE CURB & GUTTER WITHIN LIMITS OF DEMOLITION AS SHOWN ON PLAN.

DEMOLITION NOTES

1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
2. CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE UNCLASSIFIED EXCAVATION.
3. DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE SOILS ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
4. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER.
5. ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
6. EXISTING UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
7. ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.
8. CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVER HEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
9. PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
10. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA REGULATIONS.
11. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS OF THE MAINS BY DIGGING TEST PITS BY HAND.

EROSION AND SEDIMENT CONTROL NOTES

GENERAL NOTES:

1. CLEAR AND REMOVE FROM SITE ALL TREES, ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN DESIGNATED CLEARING LIMITS.
2. PLANT GRASS OVER ALL GRADED AREAS AS SHOWN IN THE TABLE ON THIS SHEET OF CEASE OF ANY GRADING ACTIVITY.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUCTION CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO THE FAILURE OF THE EROSION MEASURES.
4. DURING GRADING AND AFTER GRADING HAS BEEN COMPLETED, CONTRACTOR SHALL CONTINUE TO MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL INSPECTION AND APPROVAL BY NEW HANOVER COUNTY.
5. WATER, FERTILIZE, MOW AND MAINTAIN SPRIGGED, SOODED AND PLANTED AREAS UNTIL FINAL APPROVAL BY NEW HANOVER COUNTY.
6. ANY BORROW MATERIAL BROUGHT ONTO SITE MUST BE FROM A LEGALLY OPERATED MINE OR OTHER APPROVED SOURCE.
7. ANY EXCESS MATERIAL REMOVED FROM SITE MUST BE HAULED TO A LEGALLY OPERATED MINE OR OTHER APPROVED SOURCE.

MAINTENANCE PLAN

ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RAINFALL-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL.

ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.

SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.

DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWALES MUST BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.

SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE REPLACED OR REPAIRED TO EXISTING UTILITIES. THE CONTRACTOR SHALL STRENGTH FABRIC, WITHOUT WIRE BACKING, STAKE SPAACING WILL BE 8 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.

SEDIMENT WILL BE REMOVED FROM SEDIMENT TRAPS WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. THE ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR WHEN THE ROCK IS DISLODGED. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE.

SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASIN WHEN THE DESIGN STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR IF THE ROCK IS DISLODGED. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED FROM BAFFLES WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE. FLOATING SKIMMERS WILL BE INSPECTED WEEKLY AND WILL BE KEPT CLEAN.

ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED WITHIN 21 CALENDAR DAYS. ALL OTHER AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS.

FLOCCULANTS WILL BE USED TO ADDRESS TURBIDITY ISSUES. THE PUMPS, TANKS, HOSES AND INJECTION SYSTEMS WILL BE CHECKED FOR PROBLEMS OR TURBID DISCHARGES DAILY.

STABILIZATION NOTES

1. ALL DISTURBED AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS OF CEASE OF ANY PHASE OF ACTIVITY AND SLOPES WITHIN 21 CALENDAR DAYS.

PERMANENT SEEDING SCHEDULE -- MIXTURE 5CP

SPECIES	RATE (LB/ACRE)
CENTPEDE GRASS	10-20

Seeding Dates
MARCH - JUNE

Soil Amendments
APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 300 LB/ACRE 10-10-10 FERTILIZER.

Mulch
DO NOT MULCH.

Maintenance
FERTILIZE VERY SPARINGLY LB/ACRE NITROGEN IN SPRING WITH NO PHOSPHORUS. CENTPEDE GRASS CANNOT TOLERATE HIGH PH OR EXCESS FERTILIZER.

TEMPORARY SEEDING--LATE WINTER/EARLY SPRING

WINTER AND EARLY SPRING

SPECIES	RATE (LB/ACRE)
Rye (GRAIN)	120
*ANNUAL LESPEDEZA (KORE IN PIEDMONT AND COASTAL PLAIN, KOREAN IN MOUNTAINS)	50

*OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXTEND BEYOND JUNE.

SUMMER

SPECIES	RATE (LB/ACRE)
GERMAN MILLET	40

FALL

SPECIES	RATE (LB/ACRE)
RYE (GRAIN)	120

Seeding dates

COASTAL PLAIN - DEC.1-APR. 15 - LATE WINTER AND EARLY SPRING
APRIL 15 - AUG. 15 - SUMMER
AUG. 15 - DEC. 30 - FALL

Soil amendments
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

Mulch
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

Maintenance
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

GENERAL GRADING NOTES

1. REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF SUCH UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF THE DITCHING OPERATION BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF THE TRENCHING OPERATIONS SO AS TO AVOID AND PREVENT DAMAGE TO THE EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COST RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING BUT NOT LIMITED TO REPAIRS AND LOSS SERVICE REVENUE. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC....
2. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
3. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAG MEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE NCDOT.
4. ALL MATERIAL CLEARED AND GRUBBED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK, SUCH AS TREES, VEGETATION, FENCING, ETC... SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE OR BURNED IF PROPER PERMITS ARE RECEIVED.

SITE NOTES

1. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND R.O.W.'S PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
3. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
4. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
5. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
6. THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONE A WEEK DURING CONSTRUCTION.
7. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
8. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
9. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW, NO DEPARTURES FROM THE CONTRACT DOCUMENT SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER.
10. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE OTHER OBSTRUCTIONS OR FROM DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT NORTH CAROLINA ONE CALL TOLL FREE 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NONSUBSCRIBING UTILITIES.
11. ALL PERMITS RELATIVE TO PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION
12. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY, AND LOCAL CODES.
13. FOR BUILDING DIMENSIONS, SEE ARCHITECTURAL DRAWINGS.
14. ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.
15. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
16. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.

GENERAL STORM SEWER NOTES

1. ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WILMINGTON AND THE STATE OF NORTH CAROLINA REQUIREMENTS AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.
2. BEDDING FOR ALL STORM SEWER PIPE SHALL BE AS SPECIFIED ON THE DRAWINGS, PROJECT SPECIFICATIONS, AND MANUFACTURER SPECIFICATIONS.
3. ALL STORM SEWER PIPES TO BE HDPE ADS N-12 OR EQUIVALENT, UNLESS OTHERWISE SPECIFIED.
4. ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON PLANS.

EXISTING UTILITY NOTES

1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
2. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.

UTILITY CONTACTS:

1. CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING AND DIGGING. 1-800-632-4949

NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED BY CONTRACTOR PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO ANY EXCAVATION OR DEMOLITION.

CONTACT "CAROLINA ONE CALL" AT
1-800-632-4949

EMERGENCY DIAL 911 POLICE - FIRE - RESCUE

1. GROUND STABILIZATION

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)

2. BUILDING WASTES HANDLING

1. NO PAINT OR LIQUID WASTES IN STREAM OR STORM DRAINS.
2. DEDICATED AREAS FOR DEMOLITION, CONSTRUCTION AND OTHER WASTES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE.
3. EARTHEN--MATERIALS STOCKPILES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE.
4. CONCRETE MATERIALS MUST BE CONTROLLED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS, OR BUFFERS.

3. INSPECTIONS

1. SAME WEEKLY INSPECTION REQUIREMENTS.
2. SAME RAIN GAUGE & INSPECTIONS AFTER 0.5" RAIN EVENT.
3. INSPECTIONS ARE ONLY REQUIRED DURING "NORMAL BUSINESS HOURS".
4. INSPECTION REPORTS MUST BE AVAILABLE ONSITE DURING BUSINESS HOURS UNLESS A SITE-SPECIFIC EXEMPTION IS APPROVED.
5. RECORDS MUST BE KEPT FOR 3 YEARS AND AVAILABLE UPON REQUEST.
6. ELECTRONICALLY AVAILABLE RECORDS MAY BE SUBSTITUTED UNDER CERTAIN CONDITIONS.

4. SEDIMENT BASINS

1. OUTLET STRUCTURES MUST WITHDRAW FROM BASIN SURFACE UNLESS DRAINAGE AREA IS LESS THAN 1ACRE.
2. USE ONLY DWQ-APPROVED FLOCCULENTS.

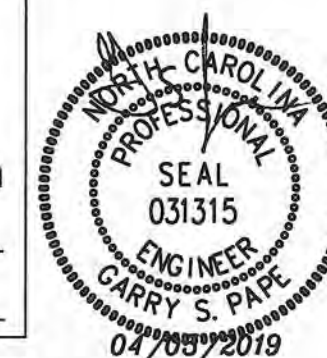
NPDES -- SPECIFIC PLAN SHEETS NOTES

1. THIS PAGE IS SUBMITTED TO COMPLY WITH NPDES GENERAL STORMWATER PERMIT NCG010000.
2. THIS PAGE CAN BE APPROVED BY THE COUNTY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000 ONLY.
3. THIS PAGE OF THE APPROVED PLAN IS ENFORCEABLE EXCLUSIVELY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000.
4. THE COUNTY IS NOT AUTHORIZED TO ENFORCE THIS PAGE OF THE PLANS AND IT IS NOT A PART OF THE APPROVED PLANS FOR THE PURPOSES OF ENFORCEMENT ACTION UNDER THE COUNTY CODE.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan	
Name	Date
Planning <i>JH Walter</i>	4-23-19
Traffic <i>W. S. ...</i>	4-22-19
File <i>Jung MA</i>	4-23-19

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: 4-23-19 Permit # 2019024
Signed: *E. J. ...*



No.	Revision	Date	By

Designer	GSP	Scale	
Drawn By	GSP	Date	August 2018
License #	P-0718	Job No.	2018-0006

PINNACLE 3RD STREET
Wilmington New Hanover County North Carolina

GENERAL NOTES

PREPARED FOR:
ROBERT HIGH DEVELOPMENT, LLC
223 GREENVILLE AVENUE
WILMINGTON, NC 28403
910-790-9490

GSP CONSULTING, PLLC
ENGINEERING
6626 Gordon Road Unit C Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659

Sheet No.
C-1

SDMH
RIM: 16.05'
TOP OF 12" ELEVATED IRON PIPE
IN(N): 11.36'
42" RCP INV IN(E): 8.33'
42" RCP INV OUT(W): 8.19' SSMH
RIM: 16.03'
8" INV (S): 9.96'
8" INV (E): 7.68'
8" INV (W): 7.65'

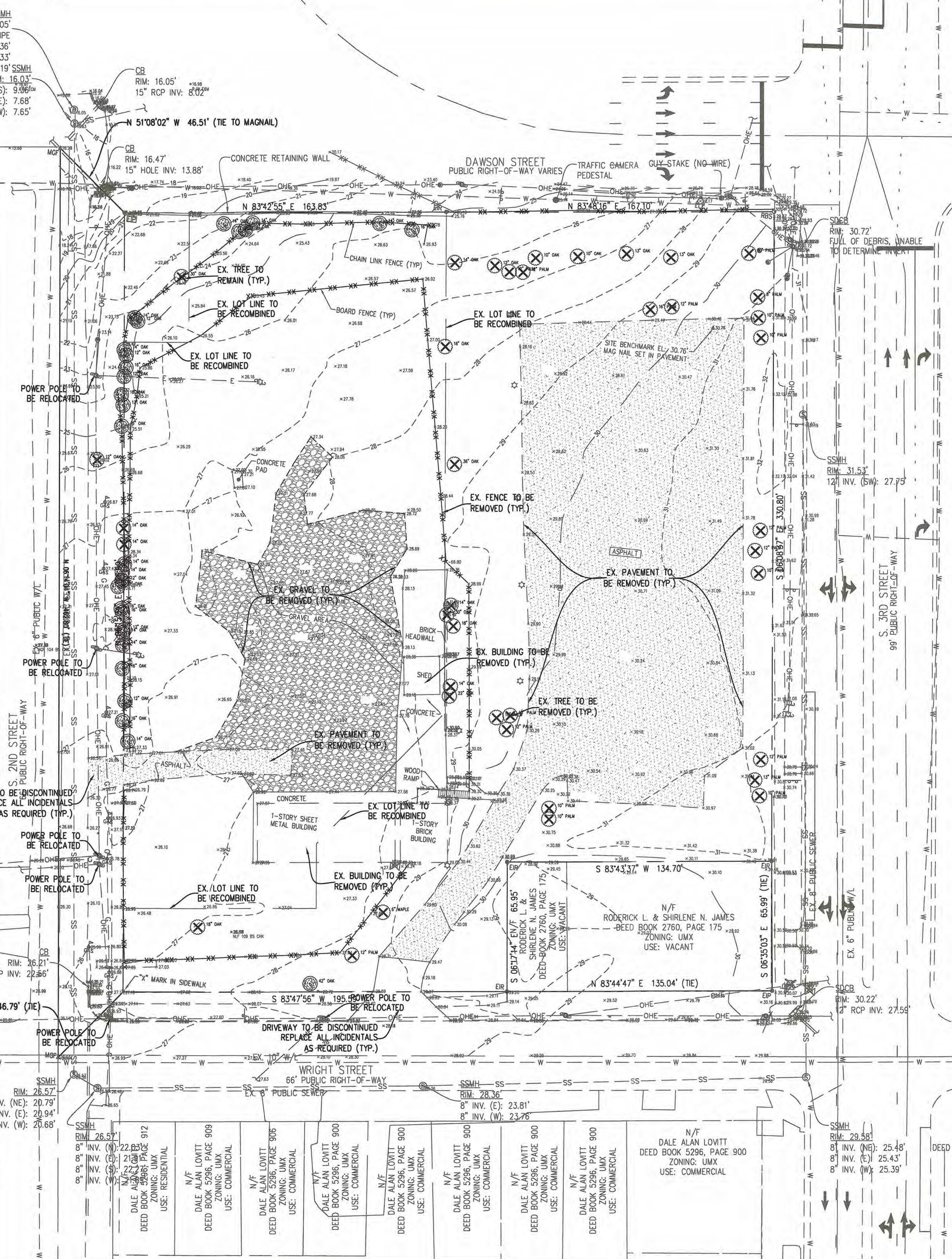
- NOTES:**
1. ALL EXISTING STREET LIGHTS WITHIN DEVELOPMENT AREA THAT ARE REQUIRED AS PER THE CITY OF WILMINGTON STREET LIGHTING POLICY TO BE RELOCATED. RELOCATION OF STREET LIGHTS TO BE COORDINATED WITH DUKE ENERGY AND POST-DEVELOPMENT STATUS OF THESE REQUIRED STREET LIGHTS TO BE RELAYED TO CITY OF WILMINGTON TRAFFIC ENGINEERING.
 2. ALL EXISTING POWER POLES WITHIN DEVELOPMENT AREA TO BE RELOCATED/REMOVED. RELOCATION AND/OR REMOVAL OF POWER POLES TO BE COORDINATED WITH DUKE ENERGY.

N/F
LE DOME HOLDINGS LLC
DEED BOOK 5845, PAGE 629
ZONING: UMX
USE: COMMERCIAL

N/F
DAWN DOCKUM
DEED BOOK 5247, PAGE 1133
ZONING: R-3
USE: RESIDENTIAL

N/F
LORNA ROE
DEED BOOK 4745, PAGE 514
ZONING: R-3
USE: RESIDENTIAL

N/F
SNP PROPERTIES LLC
DEED BOOK 5582, PAGE 2410
ZONING: UMX
USE: RESIDENTIAL



N/F
RI CSS LLC
DEED BOOK 9804, PAGE 408
ZONING: UMX
USE: COMMERCIAL

N/F
NABLUS OF WILMINGTON LLC
DEED BOOK 5902, PAGE 1308
ZONING: UMX
USE: RESIDENTIAL

N/F
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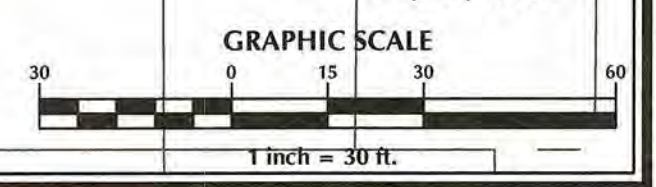
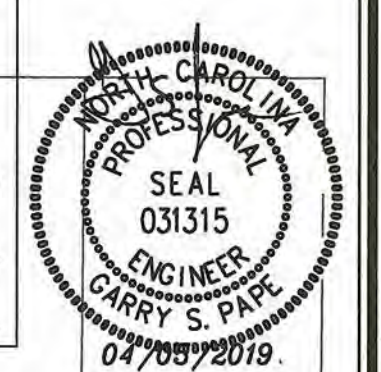
N/F
NABLUS OF WILMINGTON LLC
DEED BOOK 5902, PAGE 1308
ZONING: UMX
USE: RESIDENTIAL

N/F
DON F BETTY J GREESON
DEED BOOK 4566, PAGE 242
ZONING: UMX
USE: COMMERCIAL

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan
Name: *[Signature]* Date: *4-23-19*
Planning: *[Signature]* 4-23-19
Traffic: *[Signature]* 4-23-19
Fire: *[Signature]* 4-23-19

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: 4-23-19 Permit # 2019024
Signed: *[Signature]*



No.	Revision	Date	By

Designer: GSP
Scale: 1" = 30'
Date: August 2018
Drawn By: GSP
Job No.:
License #: P-0718
2018-0006

PINNACLE 3RD STREET
New Hanover County
North Carolina

EXISTING CONDITIONS

PREPARED FOR:
ROBERT HIGH DEVELOPMENT, LLC
223 GREENVILLE AVENUE
WILMINGTON, NC 28403
910-790-9490

GSP CONSULTING, PLLC
ENGINEERING
6626 Gordon Road Unit C Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659

Sheet No.
C-2.1

SDMH
RIM: 16.05'
TOP OF 12" ELEVATED IRON PIPE
IN(N): 11.36'
42" RCP INV IN(E): 8.33'
42" RCP INV OUT(W): 8.19' SSMH
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8" INV (S): 9.06'
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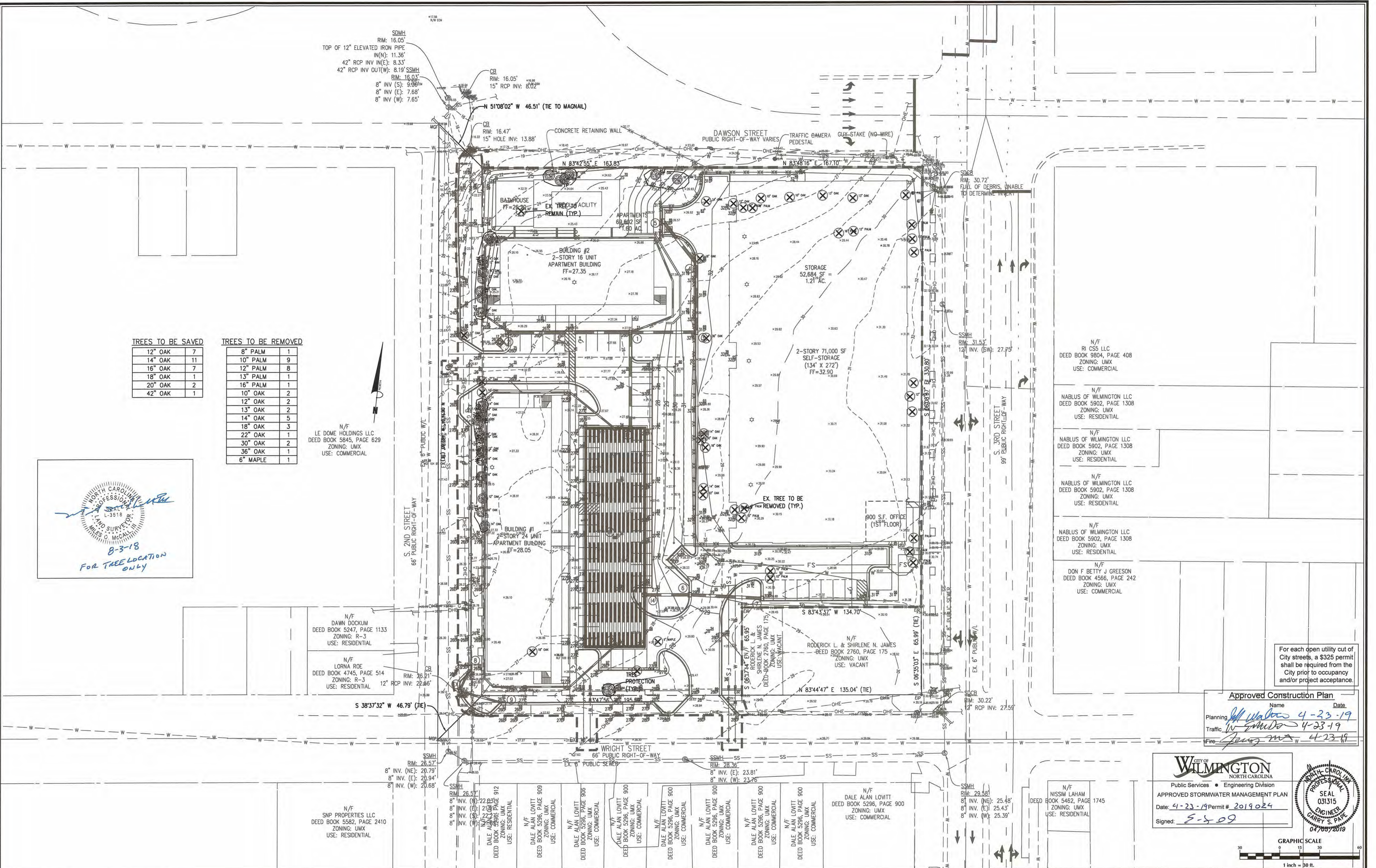
TREES TO BE SAVED

12" OAK	7
14" OAK	11
16" OAK	7
18" OAK	1
20" OAK	2
42" OAK	1

TREES TO BE REMOVED

8" PALM	1
10" PALM	9
12" PALM	8
13" PALM	1
16" PALM	1
10" OAK	2
12" OAK	2
13" OAK	2
14" OAK	5
18" OAK	3
22" OAK	1
30" OAK	2
36" OAK	1
6" MAPLE	1

N/F
LE DOME HOLDINGS LLC
DEED BOOK 5845, PAGE 629
ZONING: UMX
USE: COMMERCIAL



N/F
RI CSS LLC
DEED BOOK 9804, PAGE 408
ZONING: UMX
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NABLUS OF WILMINGTON LLC
DEED BOOK 5902, PAGE 1308
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NABLUS OF WILMINGTON LLC
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ZONING: UMX
USE: RESIDENTIAL

N/F
DON F BETTY J GREESON
DEED BOOK 4566, PAGE 242
ZONING: UMX
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DEED BOOK 5247, PAGE 1133
ZONING: R-3
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N/F
LORNA ROE
DEED BOOK 4745, PAGE 514
ZONING: R-3
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N/F
SNP PROPERTIES LLC
DEED BOOK 5582, PAGE 2410
ZONING: UMX
USE: RESIDENTIAL

N/F
DALE ALAN LOWITT
DEED BOOK 5296, PAGE 909
ZONING: UMX
USE: COMMERCIAL

N/F
DALE ALAN LOWITT
DEED BOOK 5296, PAGE 900
ZONING: UMX
USE: COMMERCIAL

N/F
DALE ALAN LOWITT
DEED BOOK 5296, PAGE 900
ZONING: UMX
USE: COMMERCIAL

N/F
DALE ALAN LOWITT
DEED BOOK 5296, PAGE 900
ZONING: UMX
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N/F
DALE ALAN LOWITT
DEED BOOK 5296, PAGE 900
ZONING: UMX
USE: COMMERCIAL

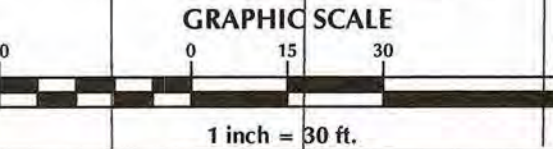
N/F
DALE ALAN LOWITT
DEED BOOK 5296, PAGE 900
ZONING: UMX
USE: COMMERCIAL

N/F
NISSIM LAHAM
DEED BOOK 5462, PAGE 1745
ZONING: UMX
USE: RESIDENTIAL

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan
Name: [Signature] Date: 4-23-19
Planning: [Signature] 4-23-19
Traffic: [Signature] 4-23-19
Fire: [Signature] 4-23-19

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: 4-23-19 Permit # 2019024
Signed: [Signature]



No.	Revision	Date	By

Designer: GSP
Scale: 1" = 30'
Date: August 2018
License #: P-0718
2018-0006

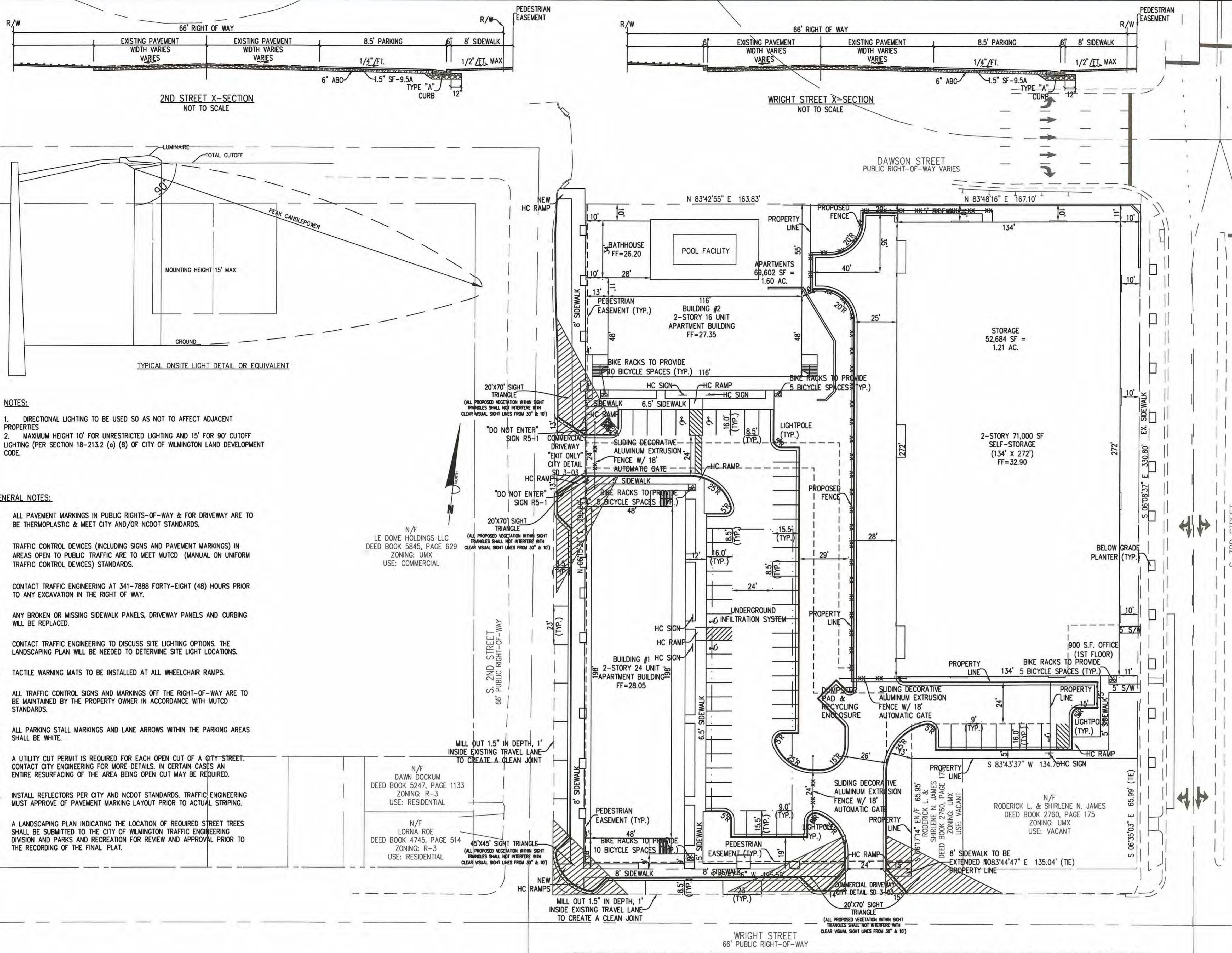
PINNACLE 3RD STREET
New Hanover County
North Carolina

SITE INVENTORY PLAN

PREPARED FOR:
ROBERT HIGH DEVELOPMENT, LLC
223 GREENVILLE AVENUE
WILMINGTON, NC 28403
910-790-9490

GSP CONSULTING, PLLC
ENGINEERING
6626 Gordon Road Unit C Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659

Sheet No.
C-2.2



- NOTES:**
- DIRECTIONAL LIGHTING TO BE USED SO AS NOT TO AFFECT ADJACENT PROPERTIES
 - MAXIMUM HEIGHT 10' FOR UNRESTRICTED LIGHTING AND 15' FOR 90° CUTOFF LIGHTING (PER SECTION 18-213.2 (a) (b) OF CITY OF WILMINGTON LAND DEVELOPMENT CODE.

- GENERAL NOTES:**
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY ARE TO BE THERMOPLASTIC & MEET CITY AND/OR NCDOT STANDARDS.
 - TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
 - CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 - CONTACT TRAFFIC ENGINEERING TO DISCUSS SITE LIGHTING OPTIONS. THE LANDSCAPING PLAN WILL BE NEEDED TO DETERMINE SITE LIGHT LOCATIONS.
 - TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT CITY ENGINEERING FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
 - A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT.

- SITE NOTES:**
- MINI-WAREHOUSE UNITS SHALL BE USED FOR "DEAD" STORAGE ONLY (NO COMMERCIAL ENTERPRISE CAN BE CONDUCTED FROM AN INDIVIDUAL UNIT OR UNITS).
 - THERE SHALL BE NO OUTSIDE STORAGE OF MATERIALS.
 - THERE SHALL BE NO STORAGE OF HAZARDOUS OR FLAMMABLE MATERIALS.
 - ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINE FROM 30'-10'. SIGNS SHALL NOT BE WITHIN THE SIGHT DISTANCE TRIANGLE AREA.
 - AUTOMATIC GATE SHALL PROVIDE SIREN ACTIVATED FEATURE FOR AFTER HOURS RESPONSE.

- LIGHTING NOTES:**
- ALL OUTDOOR LIGHTING SHALL BE INSTALLED SO AS NOT TO EXCEED TEN (10) DEED BOOK 5902, PAGE 1308 ZONING: UMUX USE: RESIDENTIAL
 - LIGHTING SPECIFICATIONS, SIZES & LOCATIONS PROVIDED BY OWNER.

N/F NABLUS OF WILMINGTON LLC DEED BOOK 5902, PAGE 1308 ZONING: UMUX USE: RESIDENTIAL
N/F NABLUS OF WILMINGTON LLC DEED BOOK 5902, PAGE 1308 ZONING: UMUX USE: RESIDENTIAL
N/F NABLUS OF WILMINGTON LLC DEED BOOK 5902, PAGE 1308 ZONING: UMUX USE: RESIDENTIAL
N/F DON F BETTY J GREESON DEED BOOK 4566, PAGE 242 ZONING: UMUX USE: COMMERCIAL

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name: _____ Date: _____

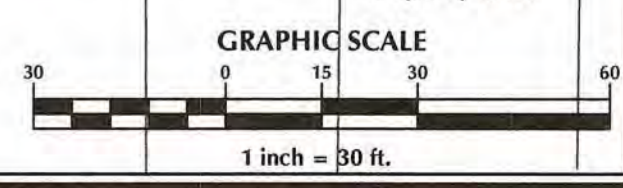
Planning: *M. Walters* 4-23-19

Traffic: *W. Smith* 4-23-19

Fire: *Jim Ma* 4-23-19

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: 4-23-19 Permit # 2019024
Signed: *S. Soler*

PROFESSIONAL SEAL
031315
ENGINEER
CARRIE S. PATE
04/08/2019



No.	Revision	Date	By

Designer: GSP Scale: 1" = 30'
Drawn By: GSP Date: August 2018
License #: P-0718 Job No.: 2018-0006

PINNACLE 3RD STREET
New Hanover County
North Carolina

SITE PLAN

PREPARED FOR:
ROBERT HIGH DEVELOPMENT, LLC
223 GREENVILLE AVENUE
WILMINGTON, NC 28403
910-790-9490

GSP CONSULTING, PLLC
ENGINEERING
6626 Gordon Road Unit C Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659

Sheet No.
C-3

GENERAL UTILITY NOTES:

- PROJECT SHALL COMPLY WITH CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) CROSS CONNECTION REQUIREMENTS. WATER METER(S) CANNOT BE SET AND ACTIVATED ON NEW MAINS UNTIL ALL REQUIREMENTS ARE MET AND NCCENR HAS ISSUED THEIR "FINAL APPROVAL". CALL 332-6558 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- TO USE CFPUA WATER FOR IRRIGATION IT MUST BE METERED SEPARATELY.
- WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STRIPPED TO THE PIPES WITH DUCT TAPE. THE INSULATED WIRE IS TO BE STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES AND FITTINGS. THIS WIRE IS TO BE ACCESSIBLE AT ALL VALVES, FIRE HYDRANTS, AND WATER METER BOXES TO AID IN FUTURE LOCATIONS OF FACILITIES.
- TREES ARE NOT TO BE PLANTED OVER WATER MAINS OR WITHIN UTILITY EASEMENTS.
- STATE WATER AND SEWER PERMITS SHALL BE OBTAINED PRIOR TO RELEASE OF THE PROJECT FOR CONSTRUCTION.
- ALL WATERMANS WITHIN PUBLIC RIGHT-OF-WAY TO BE PUBLIC AND ALL WATERMANS LOCATED ON PRIVATE PROPERTY TO BE PRIVATE.
- ALL WATERLINES TO HAVE MINIMUM 10' SEPARATION FROM ALL SEWER LINES, MANHOLES AND CLEANOUTS & TO HAVE 3' OF COVER AND 18" CLEARANCE WHERE WATER CROSSES OTHER UTILITY LINES.
- ANY SANITARY SEWER SYSTEM OR ANY PORTION THEREOF SHALL BE LOCATED AT LEAST A MINIMUM OF 10- FEET FROM ANY WATER LINE. SEWER LINES MAY CROSS A WATER LINE IF 18-INCH CLEAR SEPARATION DISTANCE IS MAINTAINED, WITH THE SEWER LINE CROSSING UNDER THE WATER LINE. WHEN CONDITIONS PREVENT AN 18-INCH CLEAR SEPARATION FROM BEING MAINTAINED OR WHENEVER IT IS NECESSARY FOR THE WATER LINE TO CROSS UNDER THE SEWER, THE SEWER LINE SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE OR ITS EQUIVALENT AND THE WATER LINE SHALL BE CONSTRUCTED OF FERROUS MATERIALS EQUIVALENT TO WATER MAIN STANDARDS WITH FOR A DISTANCE OF AT LEAST TEN FEET ON EACH SIDE OF THE POINT OF CROSSING, WITH FULL SECTIONS OF PIPE CENTERED AT THE POINT OF CROSSING.

UTILITY DATA:

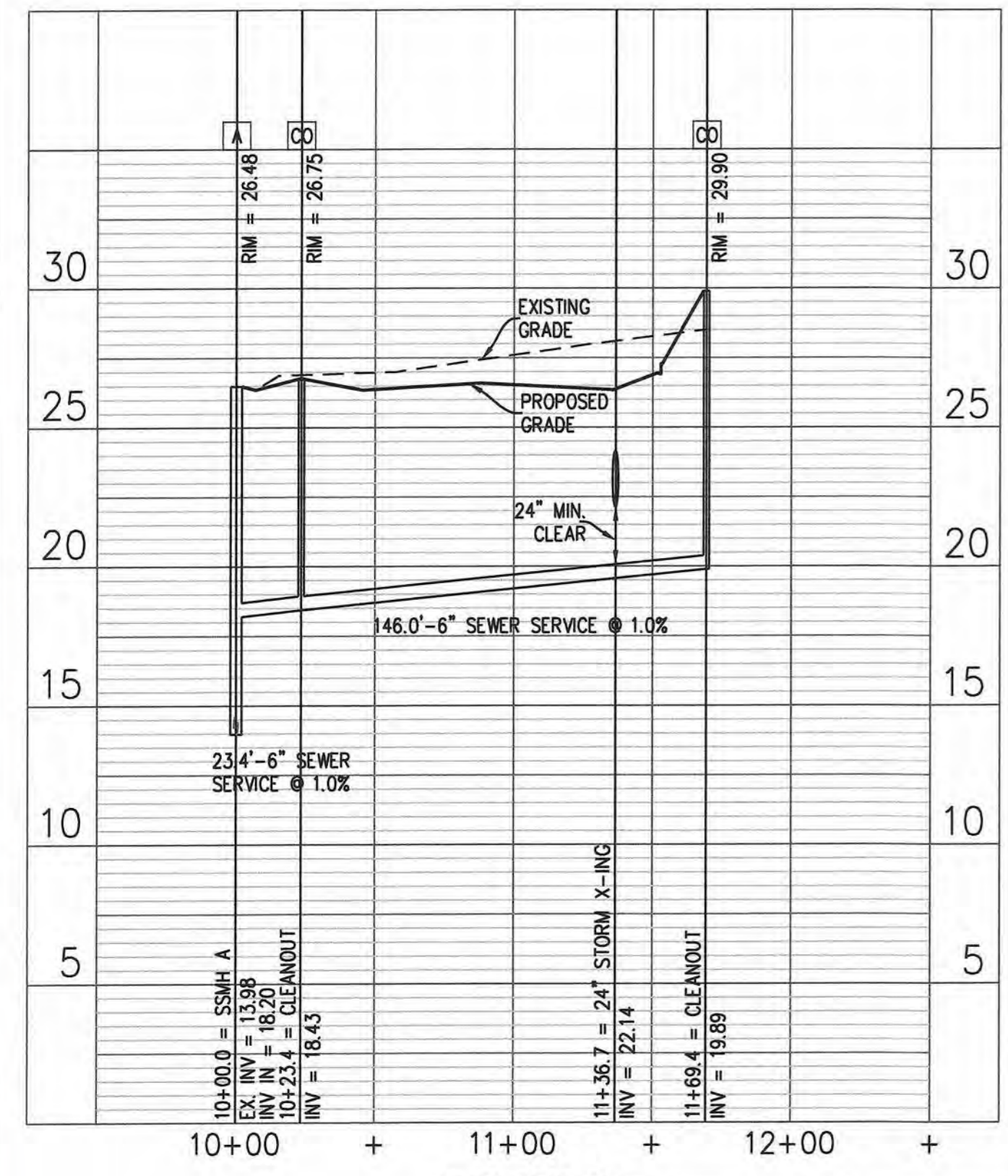
PUBLIC:	PRIVATE:
6" SEWER = 75 LF	6" SEWER = 146 LF
6" WATER = 34 LF	6" WATER = 15 LF
4" WATER = 37 LF	4" WATER = 570 LF
2" WATER = 72 LF	2" WATER = 595 LF

CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD NOTES:

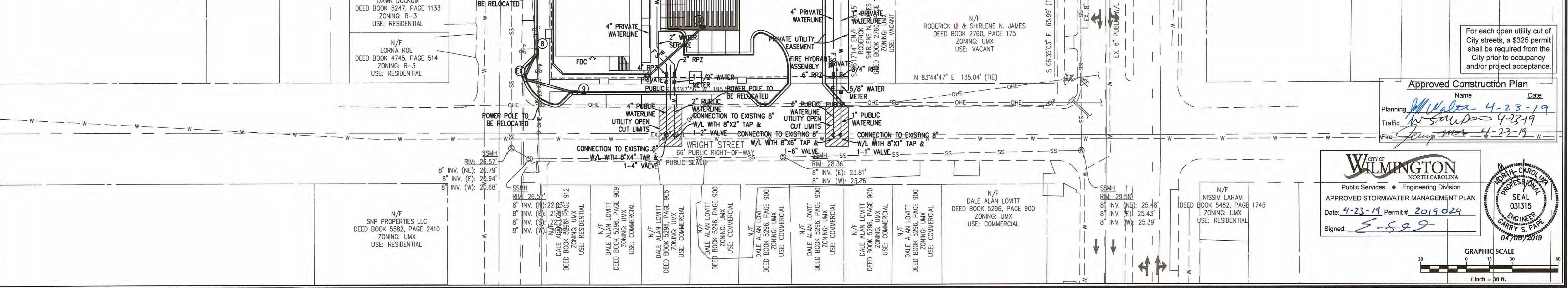
- SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
- WATER AND SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE AT RIGHT-OF-WAY LINE. SEWER SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR, OR MUST ORIGINATE IN END OF LINE MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
- ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF CLASS 50, DIP, WITH PROTECTO 401 CERAMIC EPOXY LINING.
- MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
- NO FLEXIBLE COUPLINGS SHALL BE USED.
- ALL STAINLESS STEEL FASTENERS SHALL BE 316.
- CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTY CORNERS. WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNER.

FIRE DEPARTMENT NOTES:

- HYDRANT MUST BE WITHIN 150' OF THE FDC.
- THE FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
- HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDING(S).
- CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- UNDERGROUND FIRE LINE AND PRIVATE WATER MAINS MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PRIVATE RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0696 FOR ADDITIONAL INFORMATION.
- ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- ALL ISOLATION VALVES WITHIN THE 'HOT BOX' MUST BE ELECTRICALLY SUPERVISED.



SEWER PROFILES SCALE 1"=50'



No.	Revision	Date	By

PINNACLE 3RD STREET
 New Hanover County
 Wilmington, North Carolina

UTILITY PLAN

PREPARED FOR:
 ROBERT HIGH DEVELOPMENT, LLC
 223 GREENVILLE AVENUE
 WILMINGTON, NC 28403
 910-790-9490

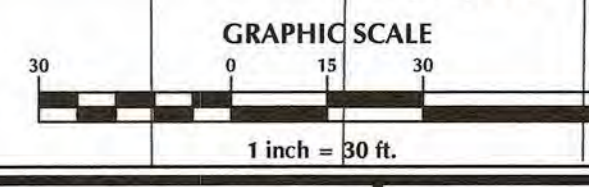
GSP CONSULTING, PLLC
 ENGINEERING
 6626 Gordon Road Unit C Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659

Sheet No. **C-4**

Approved Construction Plan
 Name: *M. Walter* Date: *4-23-19*
 Planning: *M. Walter*
 Traffic: *W. Sandoz*
 Fire: *Jim...*

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Works • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: 4-23-19 Permit # 2019024
 Signed: *S-529*

Professional Engineer Seal: *GARRY S. PATE*
 04/28/2019



SDMH
RIM: 16.05'
TOP OF 12" ELEVATED IRON PIPE
IN(N): 11.36'
42" RCP INV IN(E): 8.33'
42" RCP INV OUT(W): 8.19'

STORM STRUCTURE TABLE*

INLET	TYPE
11	DROP INLET
12	DROP INLET
13	DROP INLET
14	DROP INLET
1	CURB INLET
2	CURB INLET
3	CURB INLET
4	CURB INLET
5	CURB INLET
6	CURB INLET
7	CURB INLET
8	CURB INLET
9	CURB INLET

*BOTTOM OF BOX ELEVATION FOR ALL STORM STRUCTURES TO BE 12" BELOW LOWEST INVERT ELEVATION FOR PRETREATMENT.

STORM TABLE

FROM	TO	LENGTH (ft)	DIAMETER (in)	SLOPE (%)	INV. DN (ft)	INV. UP (ft)	RIM (ft)	MATERIAL
1	12	72	24	0.30%	22.00	22.22	25.81	HDPE
2	1	91	15	0.30%	22.22	22.49	25.81	HDPE
3	1	49	15	6.00%	22.22	25.18	31.50	HDPE
4	3	52	15	2.00%	25.18	26.21	31.50	HDPE
5	4	41	15	2.00%	26.21	27.02	30.66	HDPE
6	14	34	15	4.00%	22.00	23.36	29.19	HDPE
7	6	55	15	4.00%	23.36	25.54	29.81	HDPE
8	EX.	19	12	0.30%	22.56	22.62	25.43	RCP
9	EX.	34	12	0.30%	22.56	22.66	26.34	RCP

NOTES:

- YARD INLETS TO BE PROVIDED ON 12" ROOF DRAINS AT ALL BENDS.

N/F
DAWN DOCKUM
DEED BOOK 5247, PAGE 1133
ZONING: R-3
USE: RESIDENTIAL

N/F
LORNA ROE
DEED BOOK 4745, PAGE 514
ZONING: R-3
USE: RESIDENTIAL

N/F
SNP PROPERTIES LLC
DEED BOOK 5582, PAGE 2410
ZONING: UMX
USE: RESIDENTIAL

N/F
DALE ALAN LOVITT
DEED BOOK 5296, PAGE 912
ZONING: UMX
USE: RESIDENTIAL

N/F
DALE ALAN LOVITT
DEED BOOK 5296, PAGE 909
ZONING: UMX
USE: COMMERCIAL

N/F
DALE ALAN LOVITT
DEED BOOK 5296, PAGE 906
ZONING: UMX
USE: COMMERCIAL

N/F
DALE ALAN LOVITT
DEED BOOK 5296, PAGE 900
ZONING: UMX
USE: COMMERCIAL

N/F
DALE ALAN LOVITT
DEED BOOK 5296, PAGE 900
ZONING: UMX
USE: COMMERCIAL

N/F
DALE ALAN LOVITT
DEED BOOK 5296, PAGE 900
ZONING: UMX
USE: COMMERCIAL

N/F
DALE ALAN LOVITT
DEED BOOK 5296, PAGE 900
ZONING: UMX
USE: COMMERCIAL

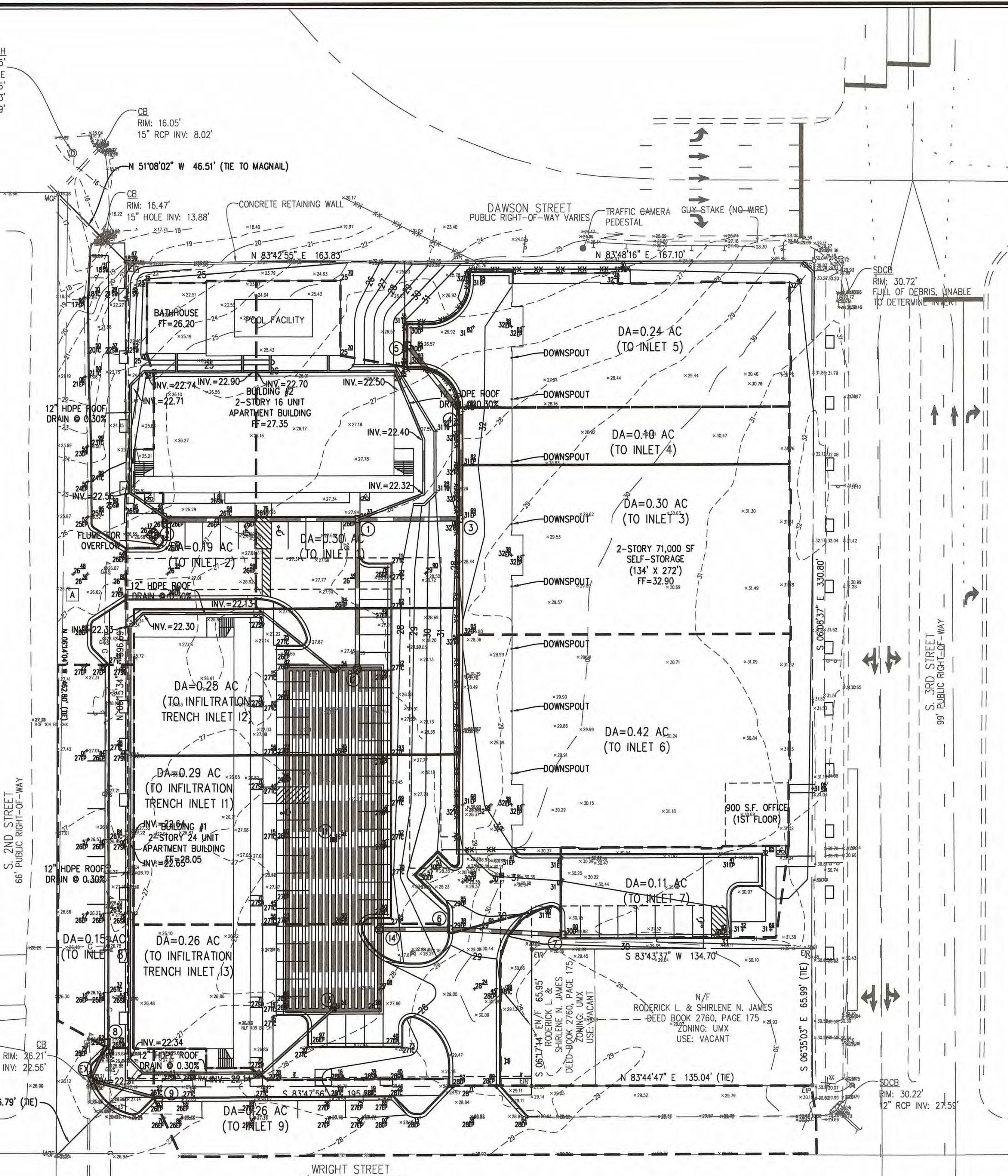
N/F
DALE ALAN LOVITT
DEED BOOK 5296, PAGE 900
ZONING: UMX
USE: COMMERCIAL

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ZONING: UMX
USE: COMMERCIAL

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DEED BOOK 5296, PAGE 900
ZONING: UMX
USE: COMMERCIAL

N/F
DALE ALAN LOVITT
DEED BOOK 5296, PAGE 900
ZONING: UMX
USE: COMMERCIAL

N/F
NISSIM LAHAM
DEED BOOK 5462, PAGE 1745
ZONING: UMX
USE: RESIDENTIAL



N/F
RI CSS LLC
DEED BOOK 9804, PAGE 408
ZONING: UMX
USE: COMMERCIAL

N/F
NABLUS OF WILMINGTON LLC
DEED BOOK 5902, PAGE 1308
ZONING: UMX
USE: RESIDENTIAL

N/F
NABLUS OF WILMINGTON LLC
DEED BOOK 5902, PAGE 1308
ZONING: UMX
USE: RESIDENTIAL

N/F
NABLUS OF WILMINGTON LLC
DEED BOOK 5902, PAGE 1308
ZONING: UMX
USE: RESIDENTIAL

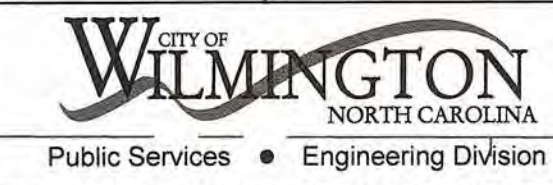
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NABLUS OF WILMINGTON LLC
DEED BOOK 5902, PAGE 1308
ZONING: UMX
USE: RESIDENTIAL

N/F
DON F BETTY J GREESON
DEED BOOK 4566, PAGE 242
ZONING: UMX
USE: COMMERCIAL

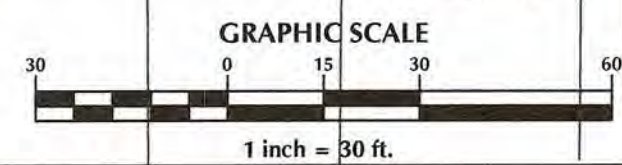
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name _____ Date _____
 Planning *[Signature]* 4-23-19
 Traffic *[Signature]* 4-23-19
 Fire *[Signature]* 4-23-19



Date: 4-23-19 Permit # 2019024
 Signed: *[Signature]*



No.	Revision	Date	By

Designer: GSP
 Date: August 2018
 License #: P-0718
 Scale: 1" = 30'

PINNACLE 3RD STREET
 New Hanover County
 North Carolina

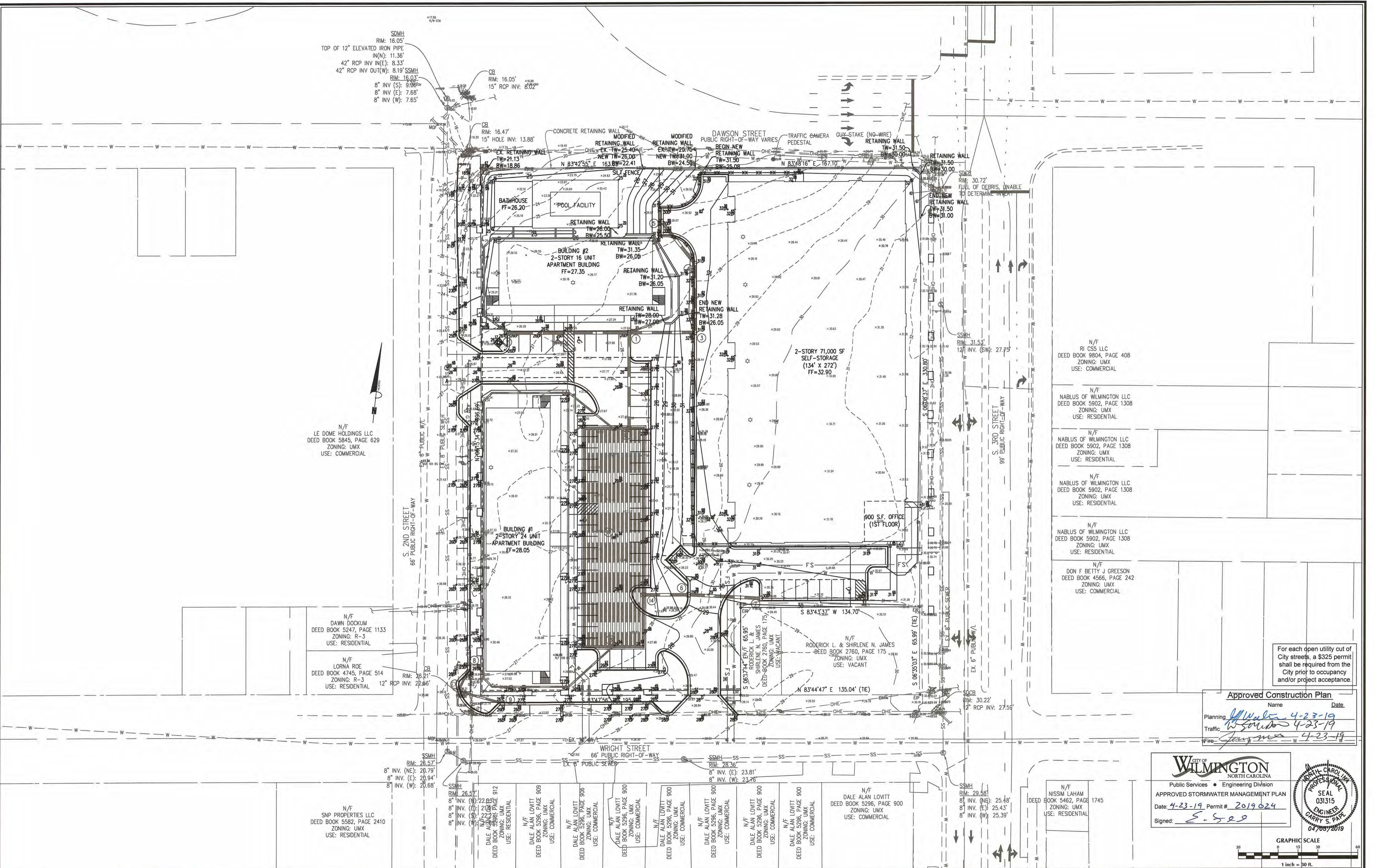
DRAINAGE PLAN

PREPARED FOR:
 ROBERT HIGH DEVELOPMENT, LLC
 223 GREENVILLE AVENUE
 WILMINGTON, NC 28403
 910-790-9490

GSP CONSULTING, PLLC
 ENGINEERING
 6626 Gordon Road Unit C Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659

Sheet No.
C-5.2

SDMH
RIM: 16.05'
TOP OF 12" ELEVATED IRON PIPE
IN(N): 11.36'
42" RCP INV IN(E): 8.33'
42" RCP INV OUT(W): 8.19' SSMH
RIM: 16.03'
8" INV (S): 9.99'
8" INV (E): 7.68'
8" INV (W): 7.65'



N/F
LE DOME HOLDINGS LLC
DEED BOOK 5845, PAGE 629
ZONING: UMX
USE: COMMERCIAL

N/F
DAWN DOCKUM
DEED BOOK 5247, PAGE 1133
ZONING: R-3
USE: RESIDENTIAL

N/F
LORNA ROE
DEED BOOK 4745, PAGE 514
ZONING: R-3
USE: RESIDENTIAL

N/F
SNP PROPERTIES LLC
DEED BOOK 5582, PAGE 2410
ZONING: UMX
USE: RESIDENTIAL

N/F
DALE ALAN LOVITT
DEED BOOK 5296, PAGE 909
ZONING: UMX
USE: COMMERCIAL

N/F
DALE ALAN LOVITT
DEED BOOK 5296, PAGE 900
ZONING: UMX
USE: COMMERCIAL

N/F
DALE ALAN LOVITT
DEED BOOK 5296, PAGE 900
ZONING: UMX
USE: COMMERCIAL

N/F
DALE ALAN LOVITT
DEED BOOK 5296, PAGE 900
ZONING: UMX
USE: COMMERCIAL

N/F
DALE ALAN LOVITT
DEED BOOK 5296, PAGE 900
ZONING: UMX
USE: COMMERCIAL

N/F
DALE ALAN LOVITT
DEED BOOK 5296, PAGE 900
ZONING: UMX
USE: COMMERCIAL

N/F
DALE ALAN LOVITT
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USE: COMMERCIAL

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DALE ALAN LOVITT
DEED BOOK 5296, PAGE 900
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USE: COMMERCIAL

N/F
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USE: COMMERCIAL

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DALE ALAN LOVITT
DEED BOOK 5296, PAGE 900
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USE: COMMERCIAL

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USE: COMMERCIAL

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USE: COMMERCIAL

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DALE ALAN LOVITT
DEED BOOK 5296, PAGE 900
ZONING: UMX
USE: COMMERCIAL

N/F
NISSIM LAHAM
DEED BOOK 5462, PAGE 1745
ZONING: UMX
USE: RESIDENTIAL

N/F
RI CSS LLC
DEED BOOK 9804, PAGE 408
ZONING: UMX
USE: COMMERCIAL

N/F
NABLUS OF WILMINGTON LLC
DEED BOOK 5902, PAGE 1308
ZONING: UMX
USE: RESIDENTIAL

N/F
NABLUS OF WILMINGTON LLC
DEED BOOK 5902, PAGE 1308
ZONING: UMX
USE: RESIDENTIAL

N/F
NABLUS OF WILMINGTON LLC
DEED BOOK 5902, PAGE 1308
ZONING: UMX
USE: RESIDENTIAL

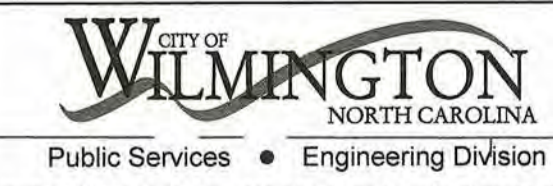
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NABLUS OF WILMINGTON LLC
DEED BOOK 5902, PAGE 1308
ZONING: UMX
USE: RESIDENTIAL

N/F
DON F BETTY J GREESON
DEED BOOK 4566, PAGE 242
ZONING: UMX
USE: COMMERCIAL

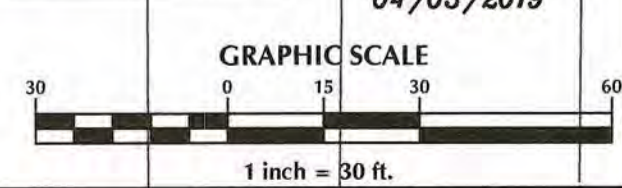
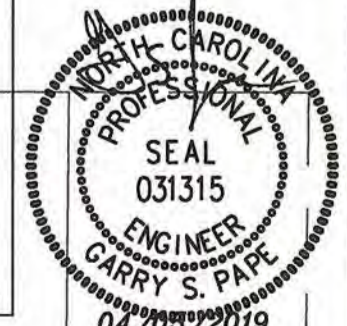
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan

Name: *[Signature]* Date: *4-23-19*
Planning: *[Signature]* Date: *4-23-19*
Traffic: *[Signature]* Date: *4-23-19*
Fire: *[Signature]* Date: *4-23-19*



Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: 4-23-19 Permit # 2019024
Signed: *[Signature]*



No.	Revision	Date	By

Designer: GSP
Scale: 1" = 30'
Date: August 2018
Drawn By: GSP
Job No.: P-0718
License #: 2018-0006

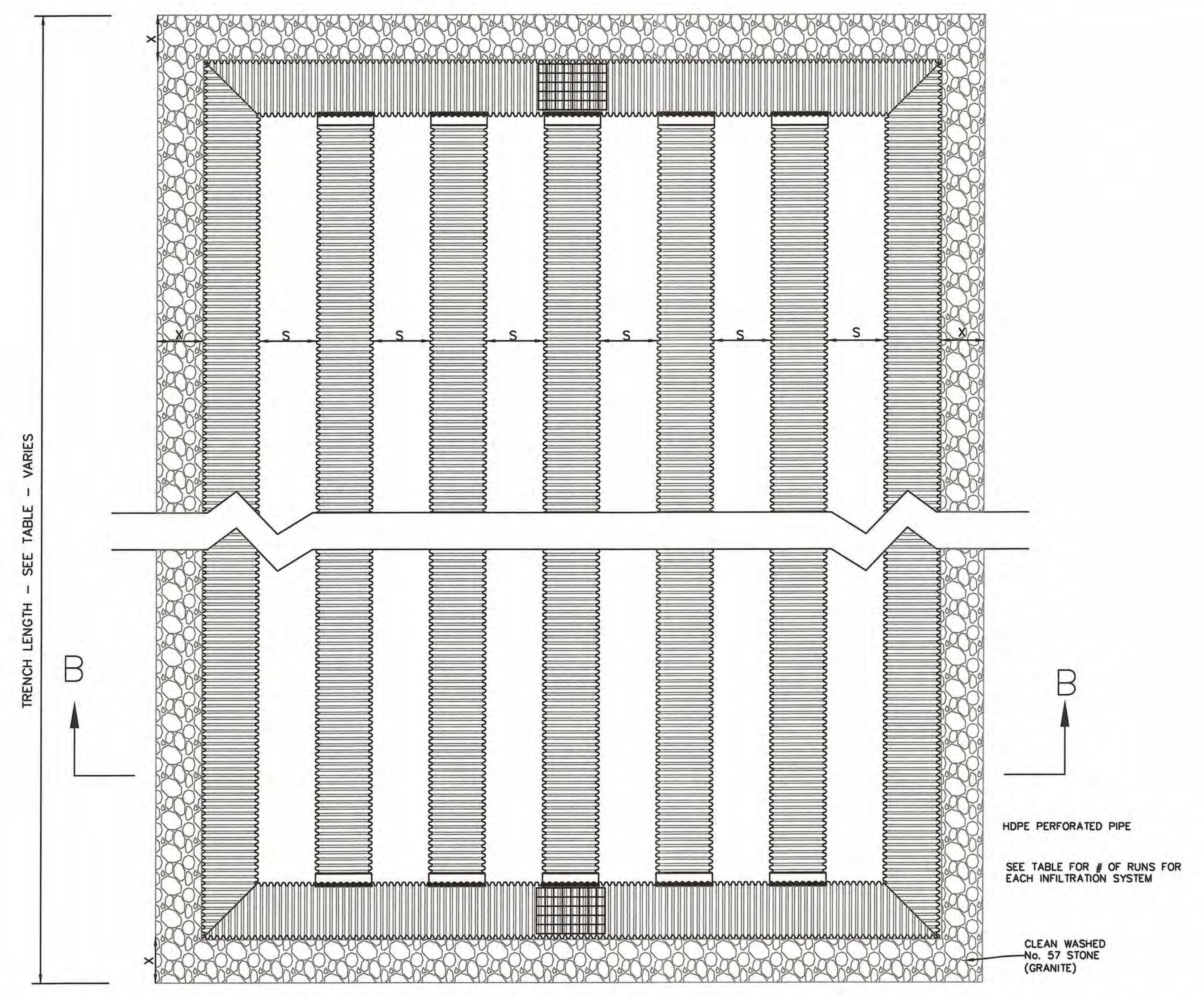
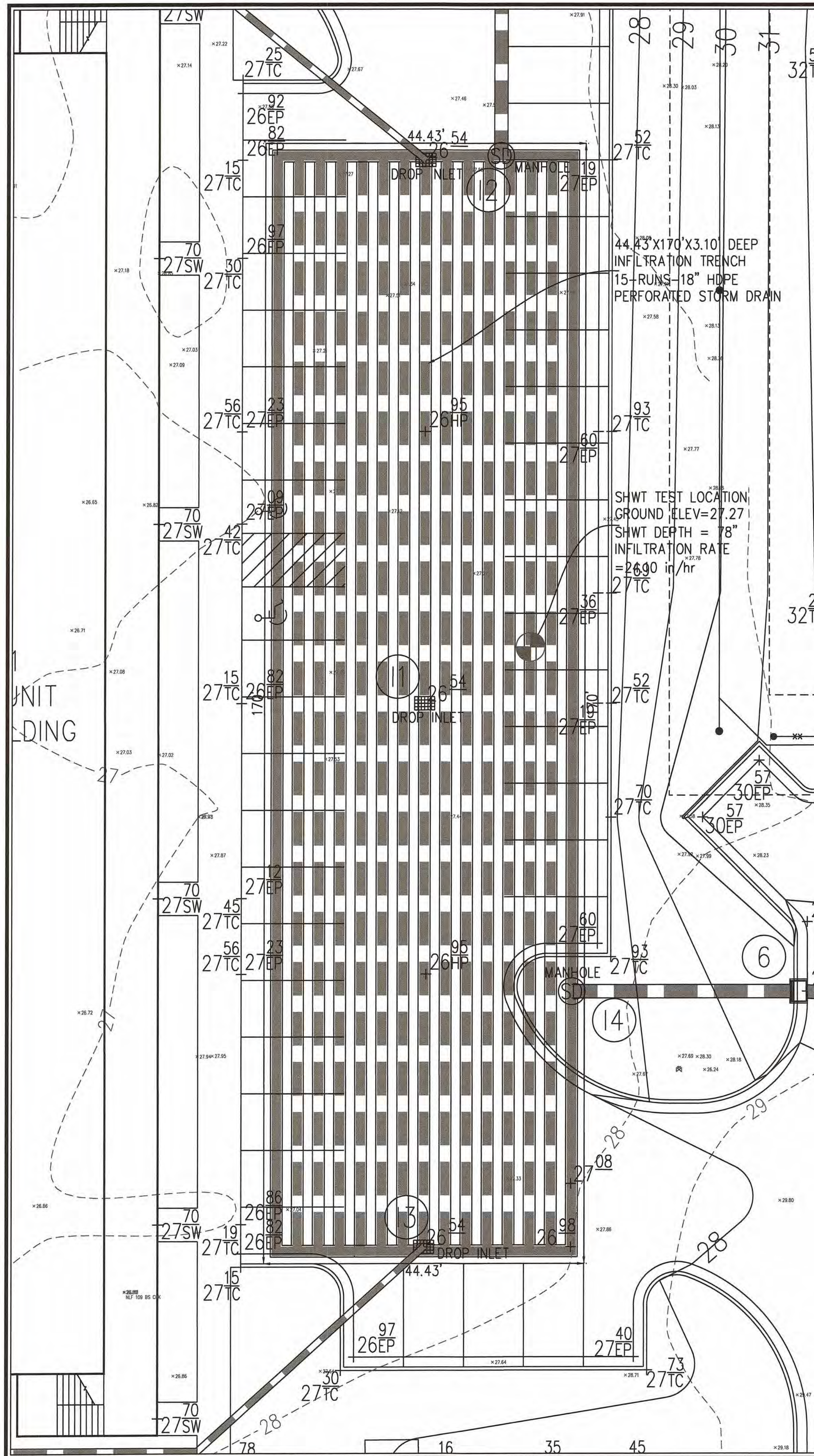
PINNACLE 3RD STREET
New Hanover County
North Carolina

GRADING PLAN

PREPARED FOR:
ROBERT HIGH DEVELOPMENT, LLC
223 GREENVILLE AVENUE
WILMINGTON, NC 28403
910-790-9490

GSP CONSULTING, PLLC
ENGINEERING
6626 Gordon Road Unit C Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659

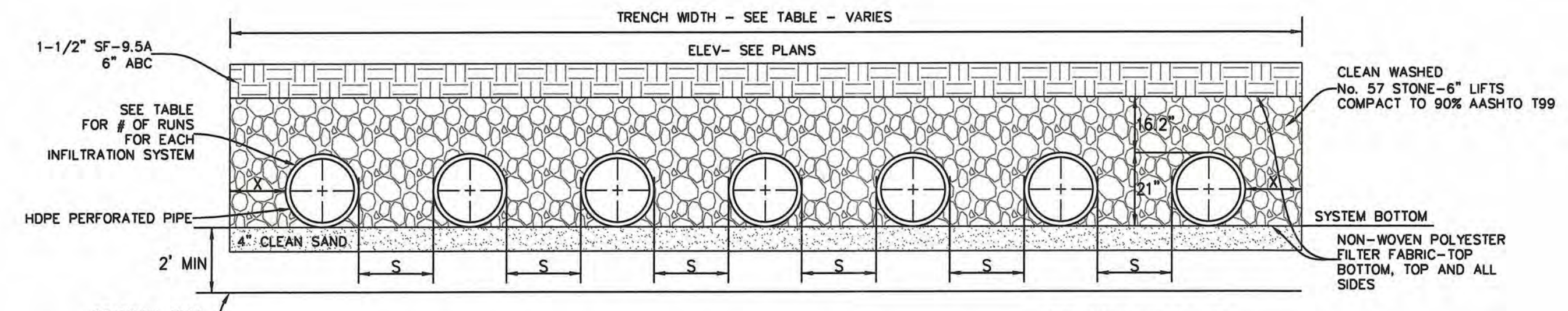
Sheet No.
C-5.1



PLAN

NOTE:
ALL HDPE PIPE TO BE ADS N-12 PIPE (DESIGNED TO SUPPORT H-20 LIVE LOADS) OR EQUIVALENT & INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. ALL JOINTS TO BE SOIL TIGHT OR BETTER.

INFILTRATION TRENCH
N.T.S.
(SCHEMATIC ONLY—REFER TO TABLE AND PLANS FOR ACTUAL DIMENSIONS)
6" CLEANOUTS TO BE PROVIDED ON ALL LATERALS



SECTION B-B

INFILTRATION TRENCH TABLE

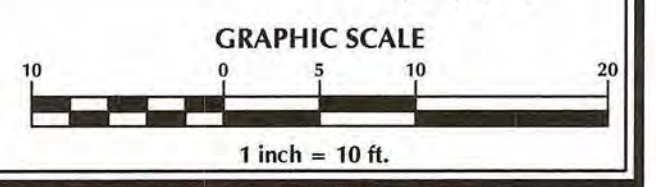
TRENCH #	# OF RUNS	PIPE DIAMETER	MIN. X (in.)	MIN. S (in.)	TRENCH WIDTH (FT.)	TRENCH LENGTH (FT.)	SYSTEM BOTTOM ELEV.	SHWT ELEV.
1	15	18"	9	14.3	44.43	170	22.77	20.77

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan
Name: Jeff Walter Date: 4-23-19
Planning: W. Smith Date: 4-23-19
Traffic: Jeff Walter Date: 4-23-19
Fire: Jeff Walter Date: 4-23-19

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: 4-23-19 Permit # 2019024
Signed: S. S. Lee

PROFESSIONAL SEAL
031315
ENGINEER
CARRIE S. PATE
04/08/2019



No.	Revision	Date	By

Designer: GSP
Scale: 1" = 10'
Drawn By: GSP
Date: August 2018
License #: P-0718
2018-0006

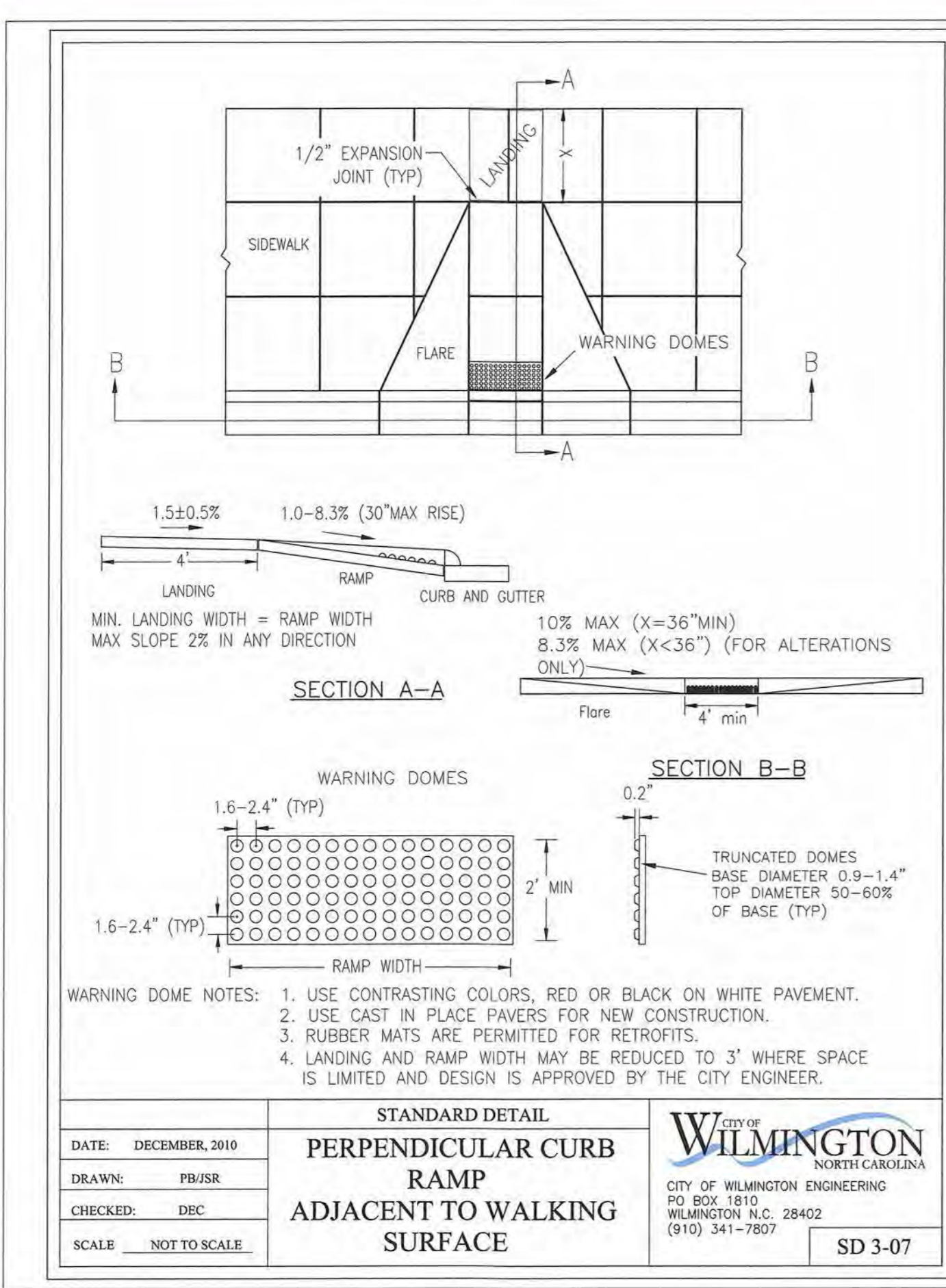
PINNACLE 3RD STREET
Wilmington New Hanover County North Carolina

INFILTRATION TRENCH DETAILS

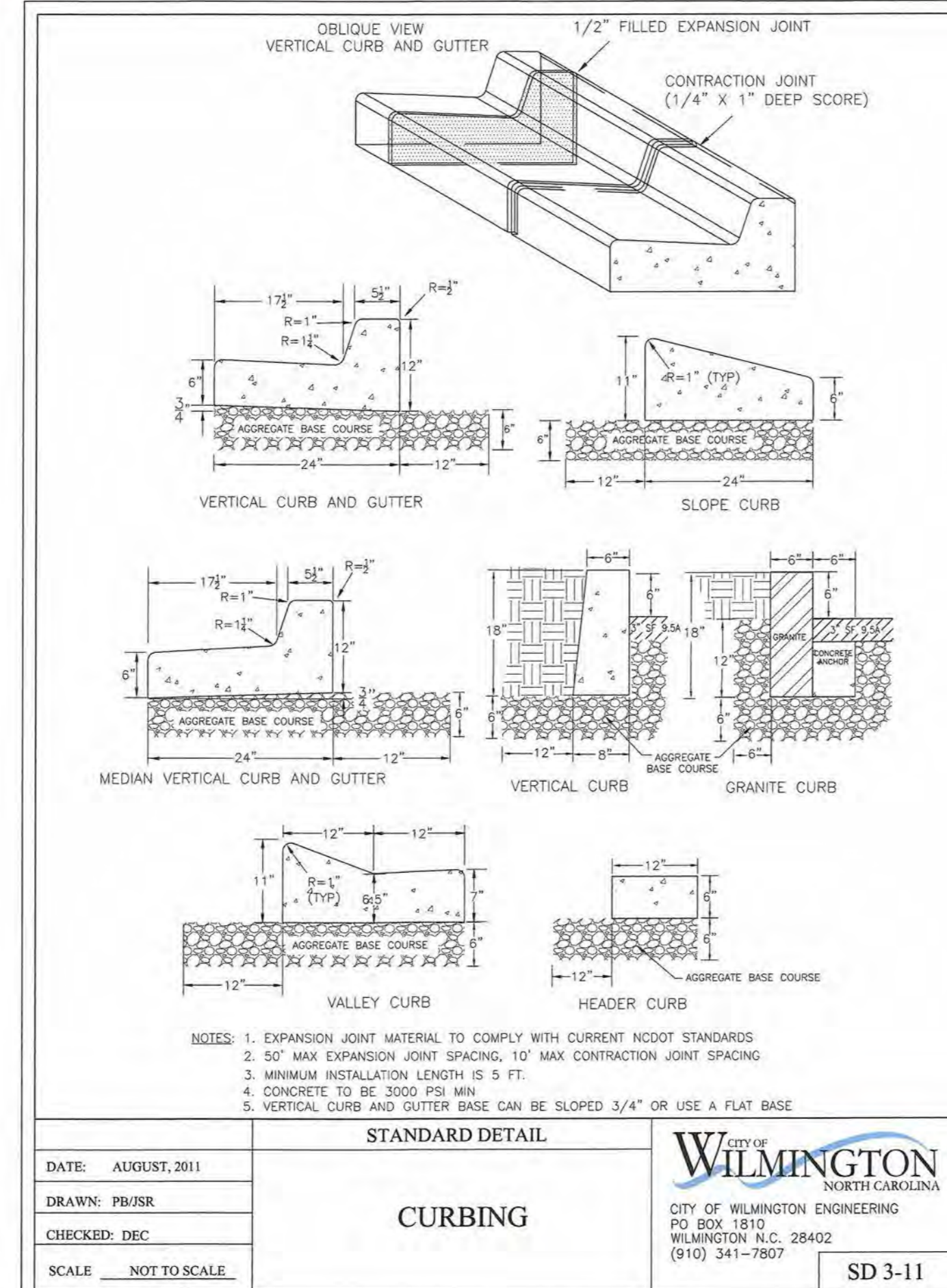
PREPARED FOR:
ROBERT HIGH DEVELOPMENT, LLC
223 GREENVILLE AVENUE
WILMINGTON, NC 28403
910-790-9490

GSP CONSULTING, PLLC
ENGINEERING
6626 Gordon Road Unit C Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659

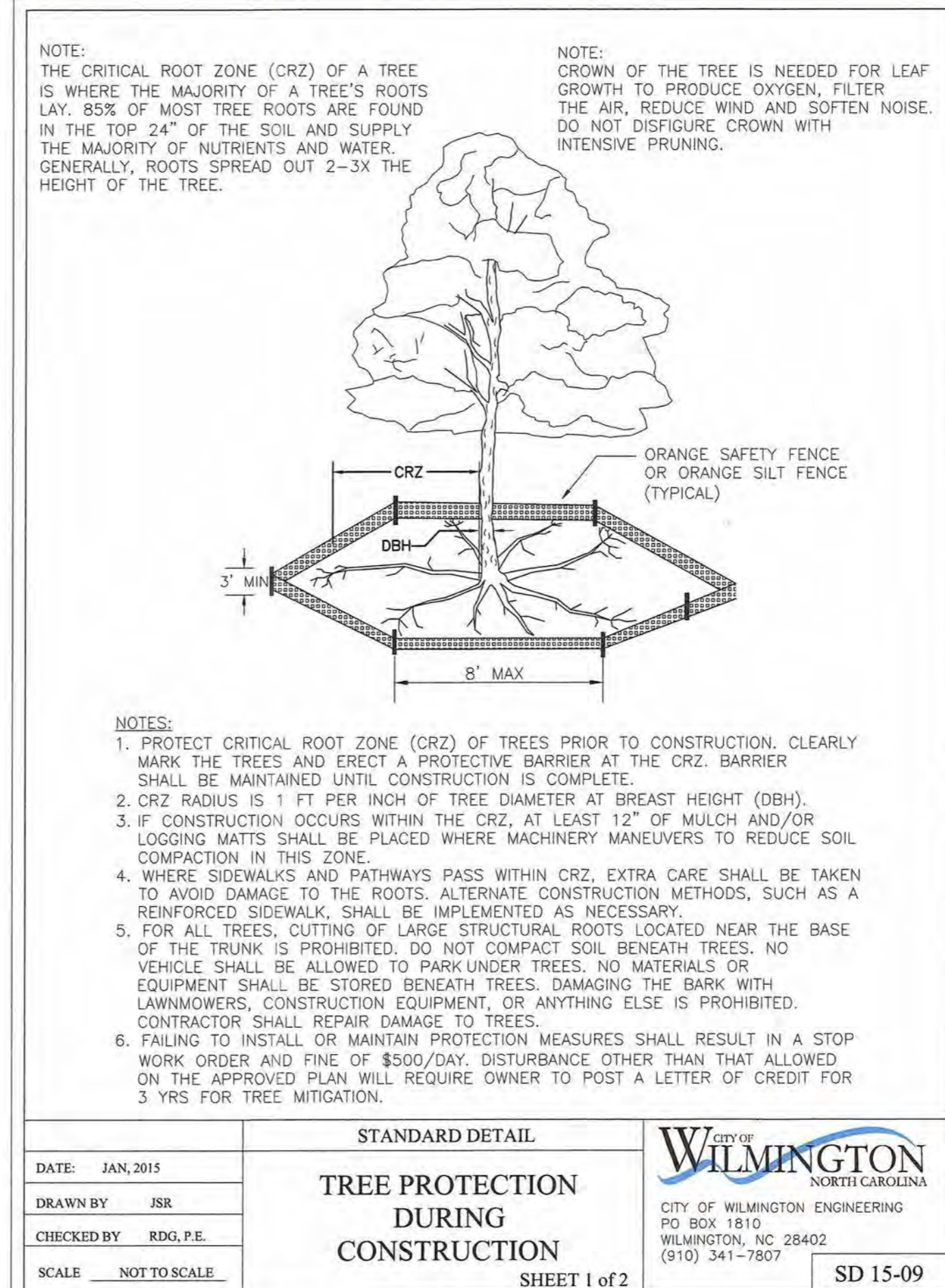
Sheet No.
C-6



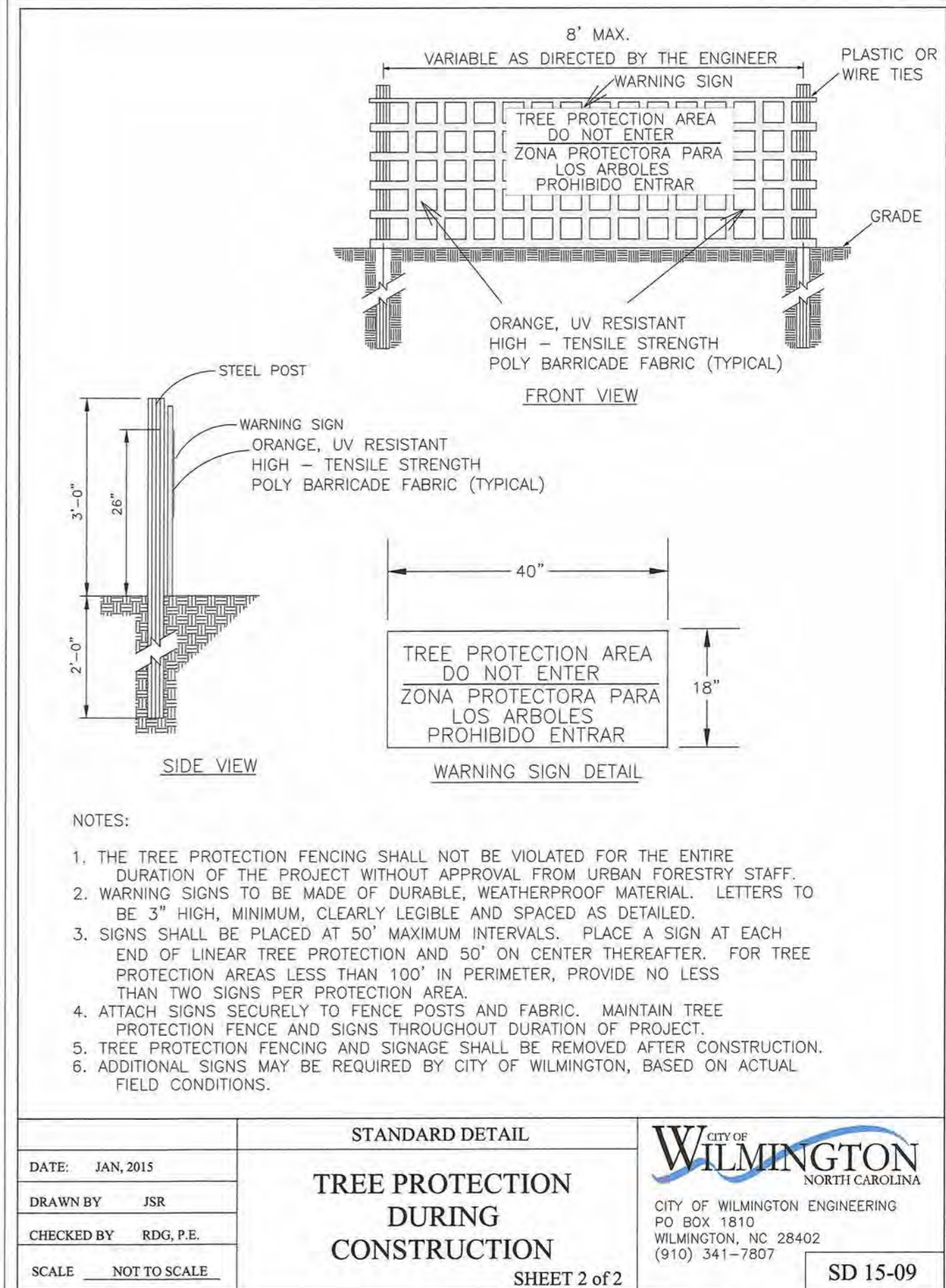
DATE: DECEMBER, 2010	STANDARD DETAIL	<p>CITY OF WILMINGTON NORTH CAROLINA CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807</p>	SD 3-07
DRAWN: PBJSR	PERPENDICULAR CURB RAMP ADJACENT TO WALKING SURFACE		
CHECKED: DEC			
SCALE: NOT TO SCALE			



DATE: AUGUST, 2011	STANDARD DETAIL	<p>CITY OF WILMINGTON NORTH CAROLINA CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807</p>	SD 3-11
DRAWN: PBJSR	CURBING		
CHECKED: DEC			
SCALE: NOT TO SCALE			

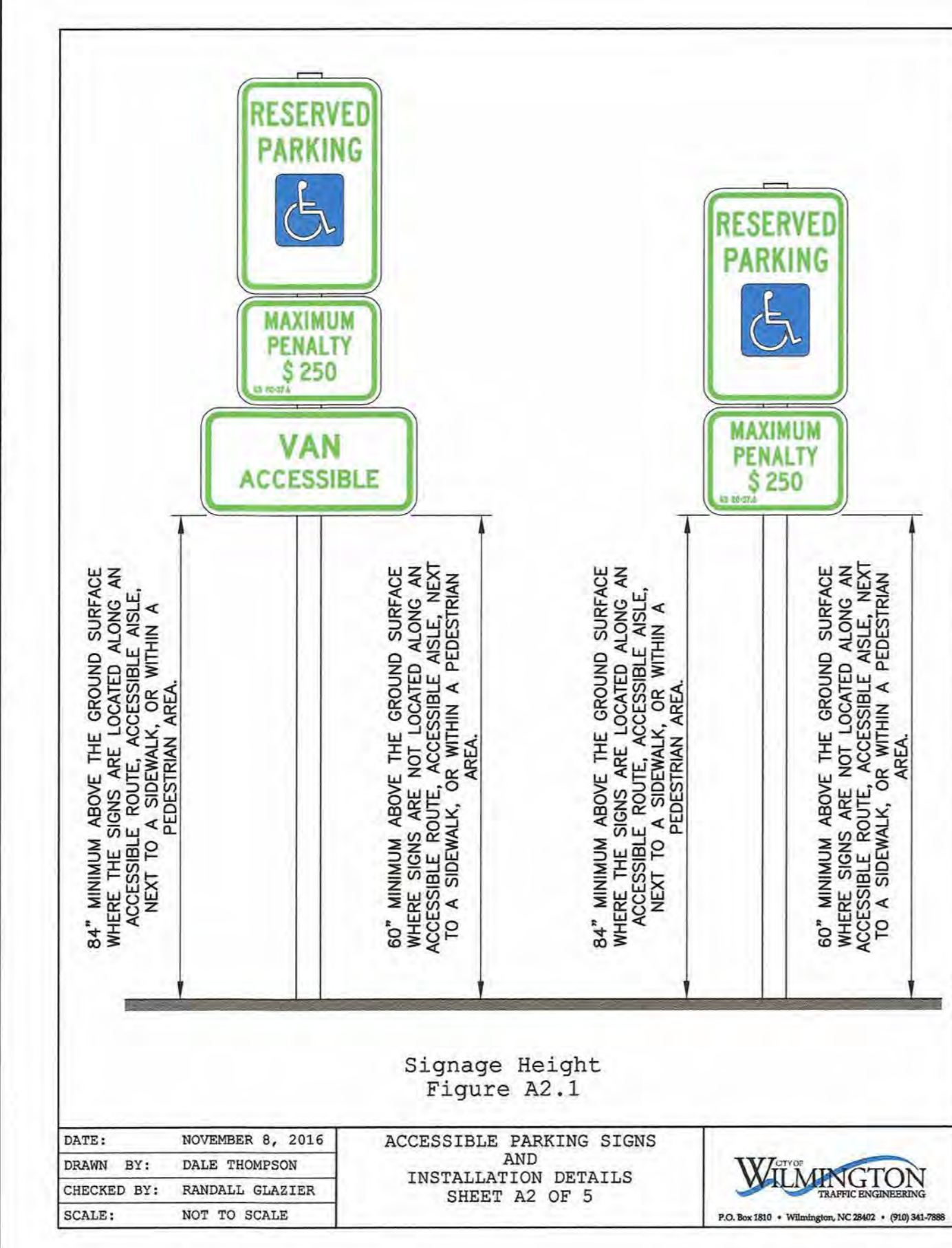


DATE: JAN, 2015	STANDARD DETAIL	<p>CITY OF WILMINGTON NORTH CAROLINA CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807</p>	SD 15-09
DRAWN BY: JSR	TREE PROTECTION DURING CONSTRUCTION		
CHECKED BY: RDG, P.E.			
SCALE: NOT TO SCALE			

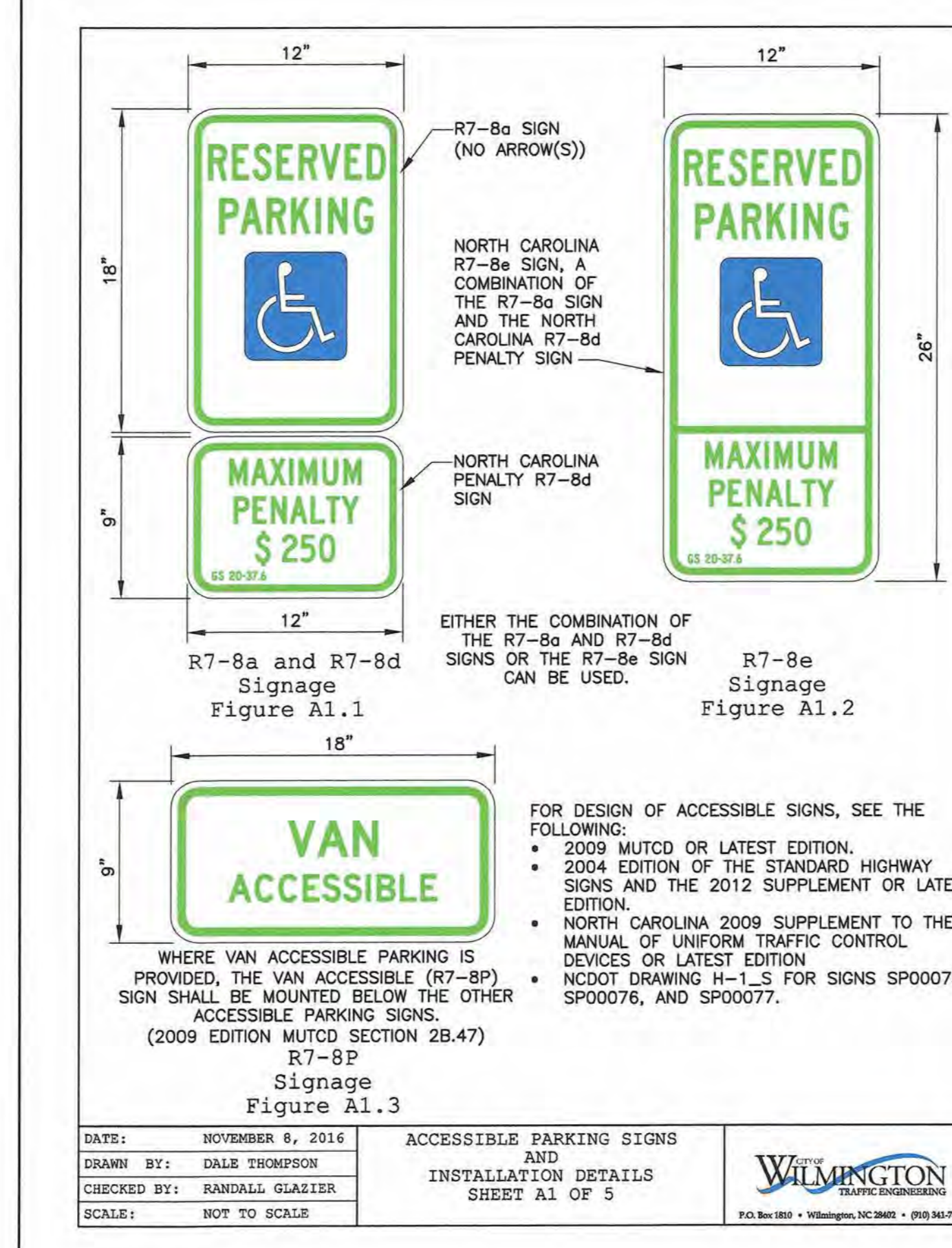


DATE: JAN, 2015	STANDARD DETAIL	<p>CITY OF WILMINGTON NORTH CAROLINA CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807</p>	SD 15-09
DRAWN BY: JSR	TREE PROTECTION DURING CONSTRUCTION		
CHECKED BY: RDG, P.E.			
SCALE: NOT TO SCALE			

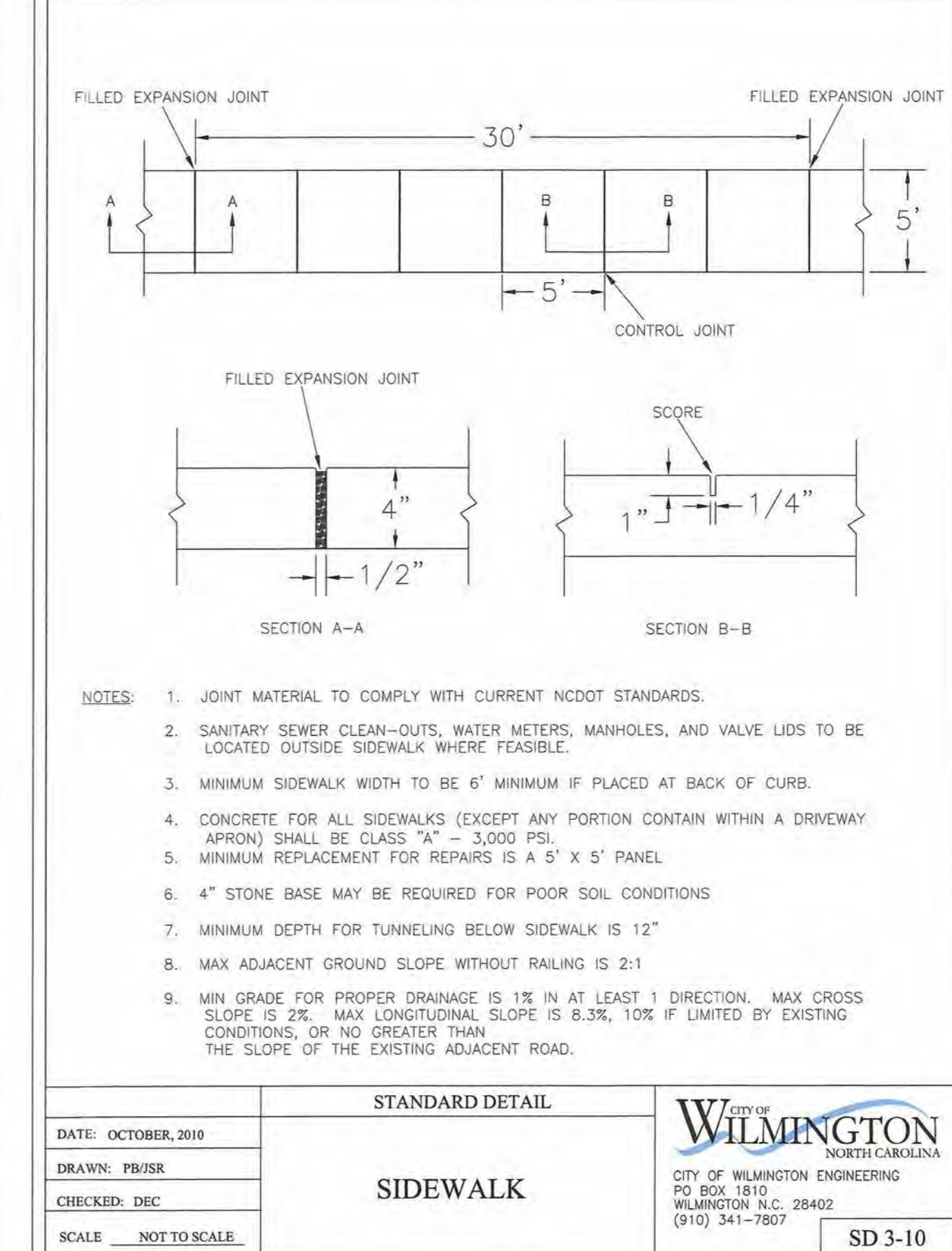
- SEQUENCE OF CONSTRUCTION**
LIMITS OF CONSTRUCTION = 2.81 ACRES
- INSTALL TEMPORARY CONSTRUCTION ENTRANCE AS SHOWN ON EROSION & SEDIMENT CONTROL PLAN.
 - INSTALL PERIMETER CONTROLS (TEMPORARY SILT FENCE, TREE PROTECTION FENCING) AS SHOWN ON THE EROSION & SEDIMENT CONTROL PLAN. THIS STEP NEEDS TO BE COMPLETED PRIOR TO UPSLOPE LAND DISTURBING ACTIVITIES.
 - ONCE PERIMETER CONTROLS AND SEDIMENT TRAPPING MEASURES ARE INSTALLED CLEAR AND GRUB SITE WITHIN LIMITS OF DISTURBANCE. THE SEDIMENT BASIN WILL BE PUMPED DOWN BY MECHANICAL MEANS AS NEEDED TO MUCK OUT SEDIMENT WHEN THE SEDIMENT REACHES 50% CAPACITY.
 - UPON BRINGING THE SITE TO ROUGH GRADE, STABILIZE ALL AREAS WITH TEMPORARY VEGETATION IF LEFT UNDISTURBED FOR 15 WORKING DAYS AND ALL SLOPES WITHIN 21 CALENDAR DAYS.
 - ONCE THE PARKING AREAS, SANITARY SEWERS, WATERLINES AND STORM SEWERS ARE IN PLACE, INSTALL INLET PROTECTION AS SHOWN ON THE EROSION & SEDIMENT CONTROL PLAN.
 - UPON BRINGING THE PARKING AREA TO SUBGRADE ELEVATIONS, STABILIZE THE AREAS BY PLACING STONE BASE AS EARLY AS POSSIBLE.
 - FOR TEMPORARY VEGETATIVE STABILIZATION OF ALL DENUDED AREAS SEE NOTE REFERENCING THE EROSION CONTROL PROGRAM AND SPECIFICATIONS ON SHEET C-1.
 - AFTER CONSTRUCTION OPERATIONS HAVE ENDED AND ALL DISTURBED AREAS HAVE BEEN STABILIZED, MECHANICAL SEDIMENT CONTROLS SHALL BE REMOVED. SEDIMENT FROM TEMPORARY SEDIMENT TRAPPING DEVICES SHALL BE DISPOSED OF BY SPREADING ON THE SITE OR HAULING AWAY IF NOT SUITABLE FOR FILL. ALL DENUDED AREAS ARE TO BE PERMANENTLY STABILIZED WITH PERMANENT VEGETATION.



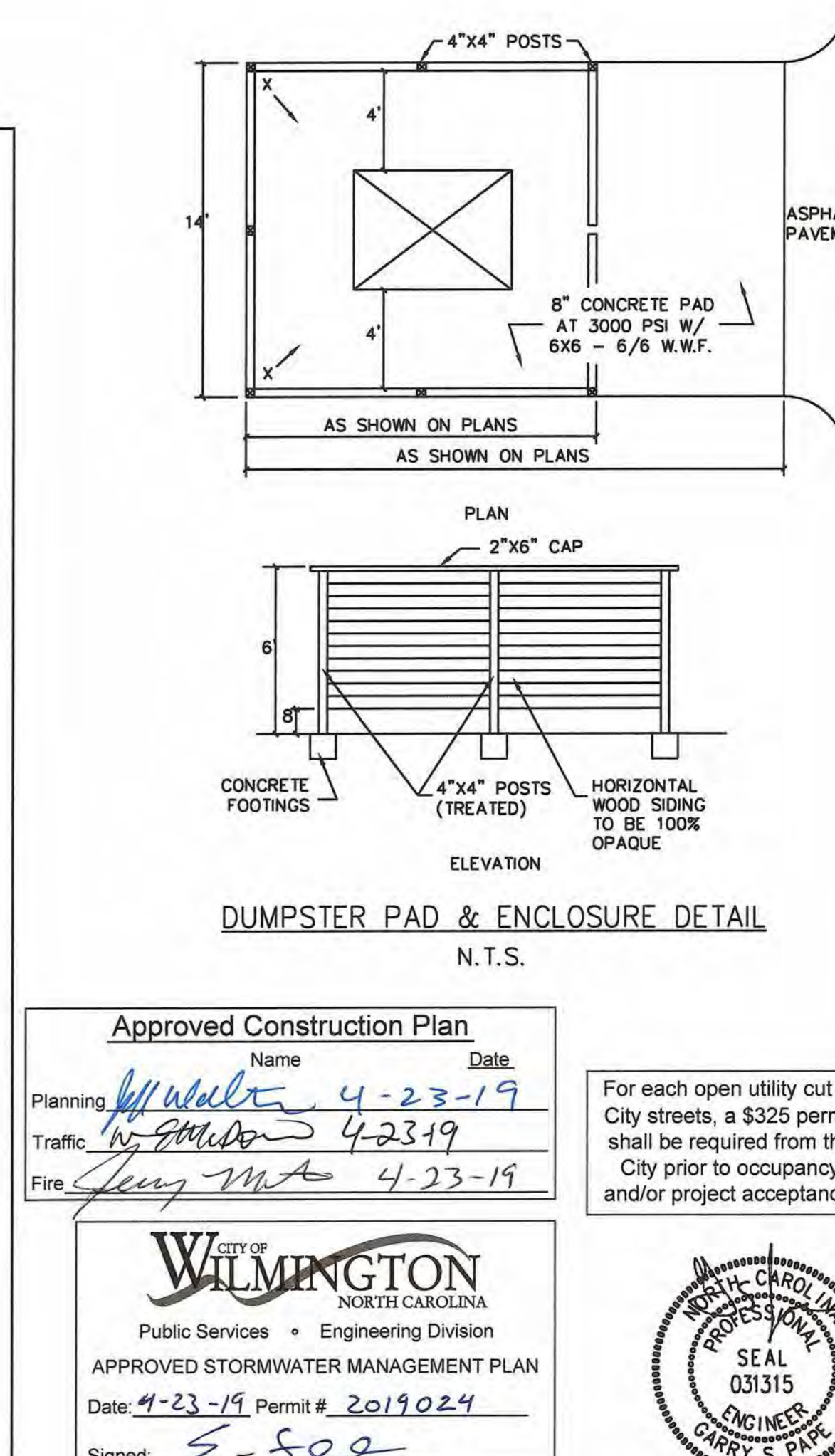
DATE: NOVEMBER 8, 2016	ACCESSIBLE PARKING SIGNS AND INSTALLATION DETAILS	<p>CITY OF WILMINGTON NORTH CAROLINA CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807</p>	SHEET A2 OF 5
DRAWN BY: DALE THOMPSON			
CHECKED BY: RANDALL GLAZIER			
SCALE: NOT TO SCALE			



DATE: NOVEMBER 8, 2016	ACCESSIBLE PARKING SIGNS AND INSTALLATION DETAILS	<p>CITY OF WILMINGTON NORTH CAROLINA CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807</p>	SHEET A1 OF 5
DRAWN BY: DALE THOMPSON			
CHECKED BY: RANDALL GLAZIER			
SCALE: NOT TO SCALE			



DATE: OCTOBER, 2010	STANDARD DETAIL	<p>CITY OF WILMINGTON NORTH CAROLINA CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807</p>	SD 3-10
DRAWN: PBJSR	SIDEWALK		
CHECKED: DEC			
SCALE: NOT TO SCALE			



Approved Construction Plan

Name: W. Webb Date: 4-23-19

Planning: W. Webb 4-23-19

Traffic: R. Glazier 4-23-19

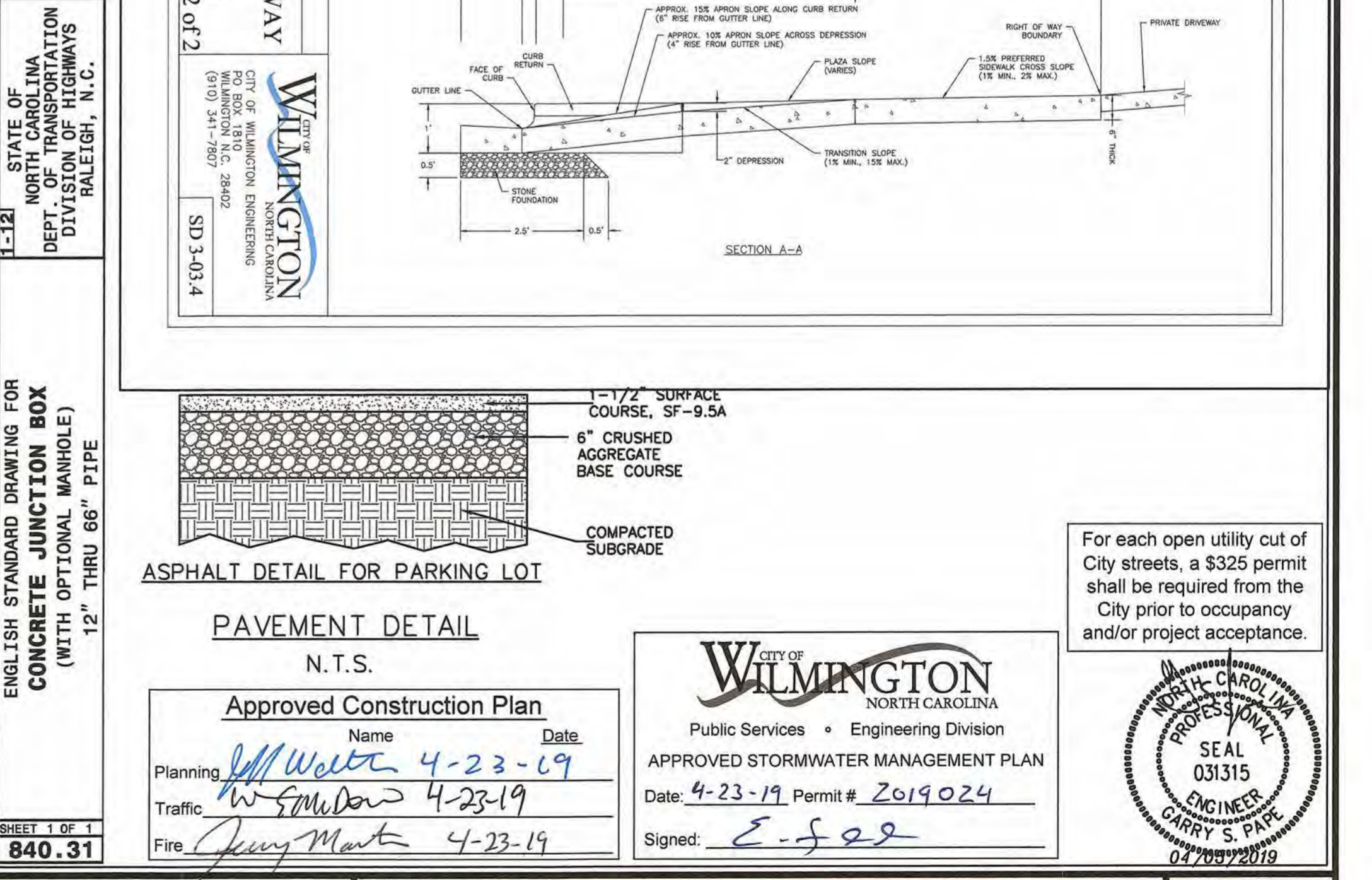
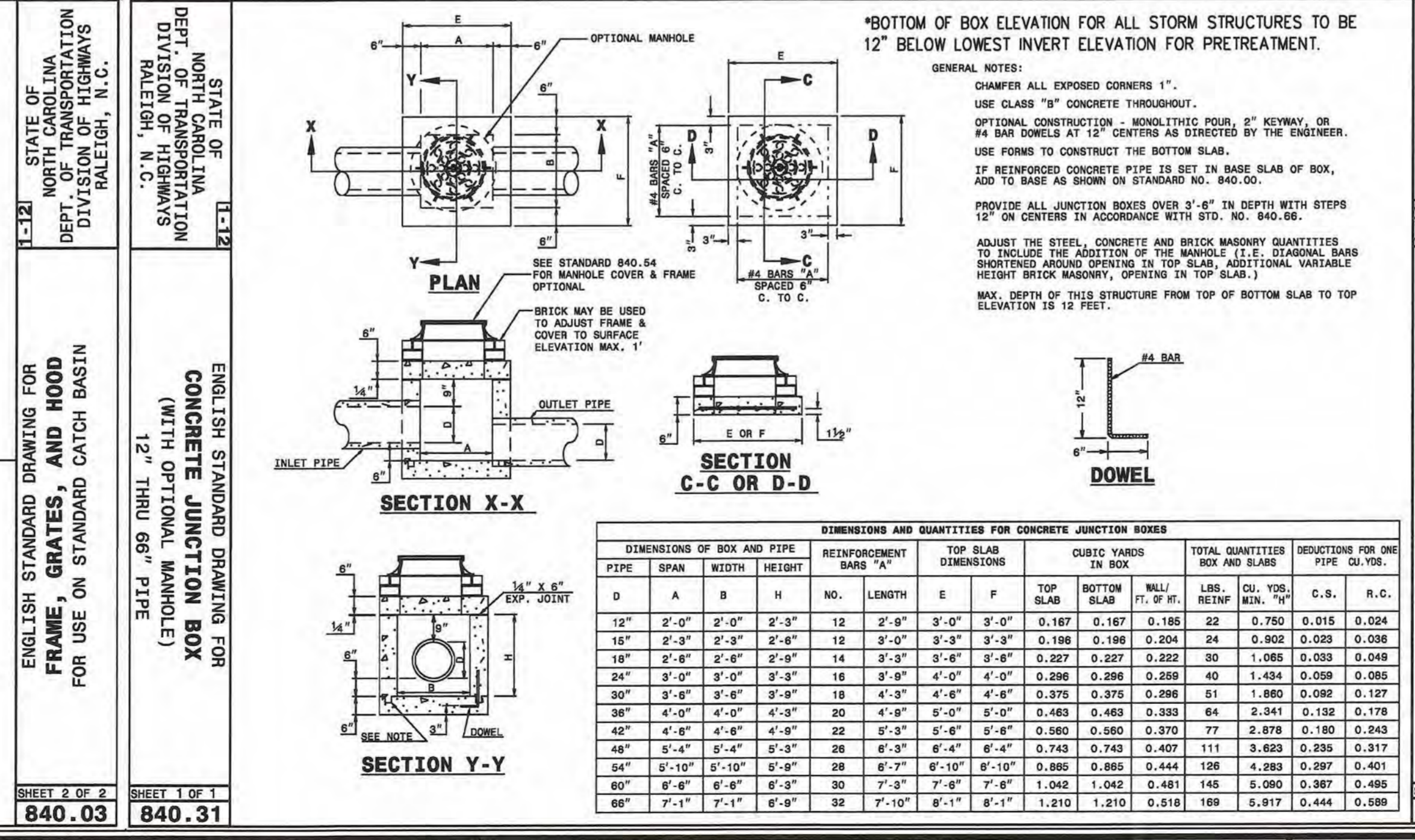
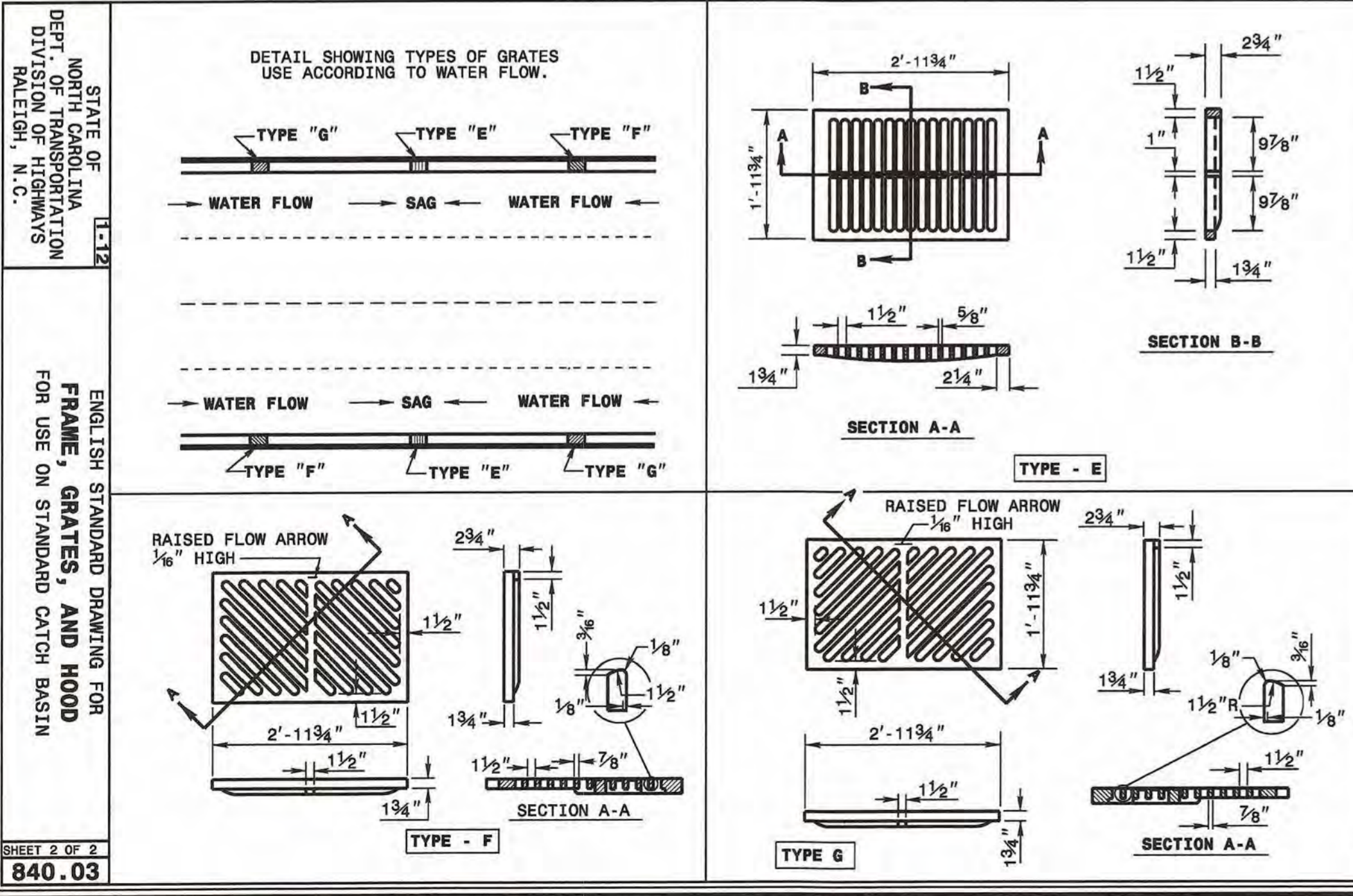
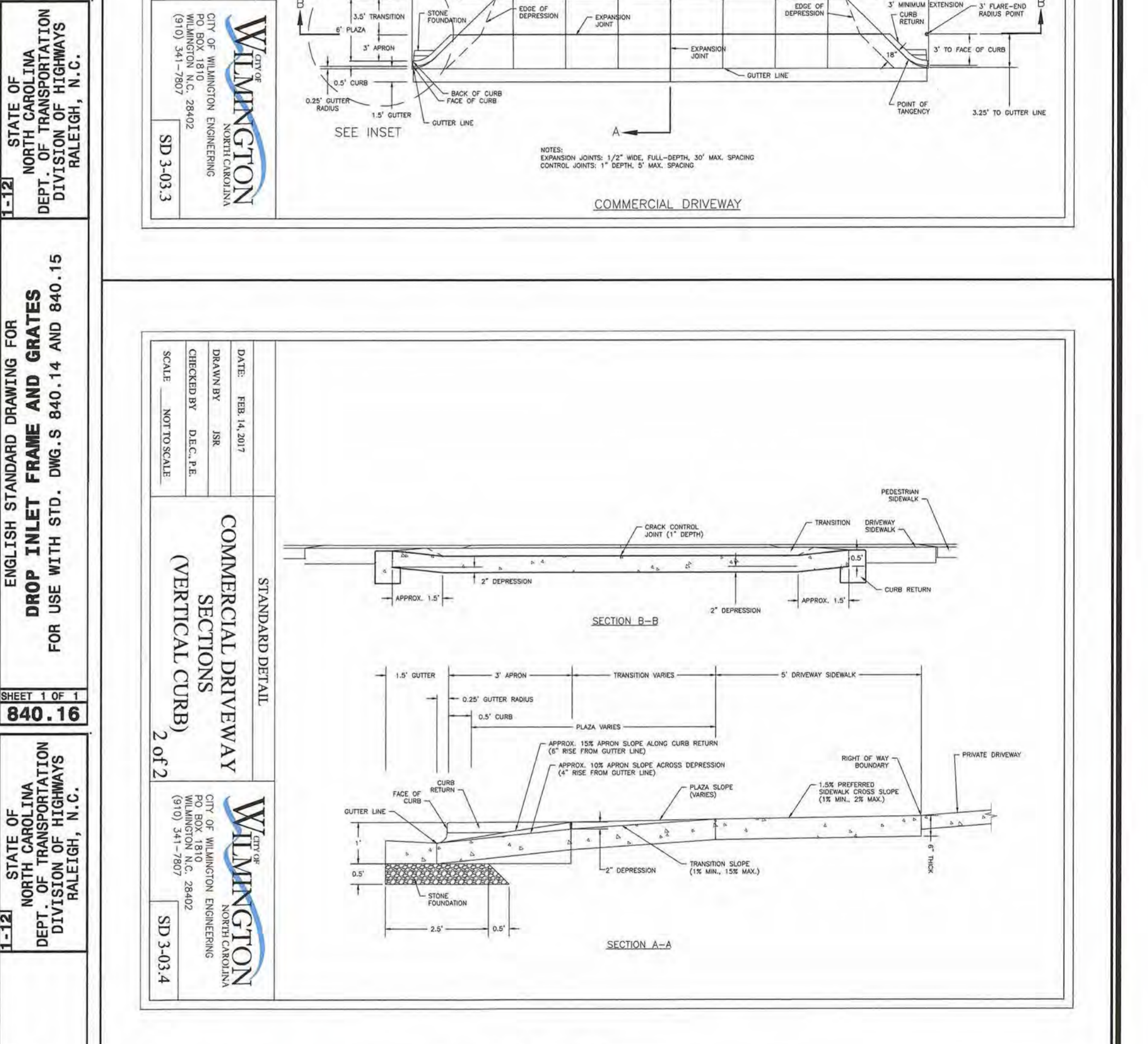
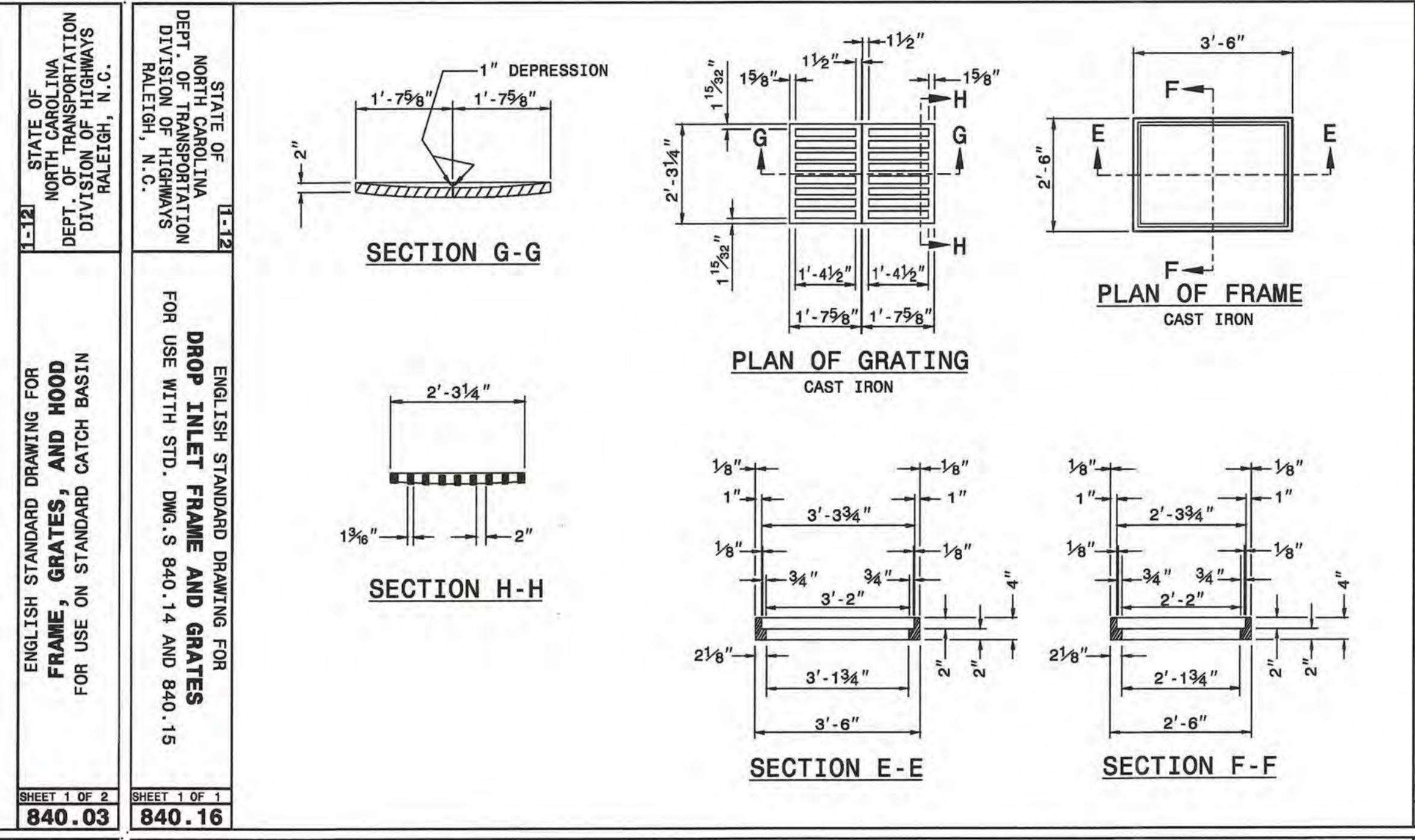
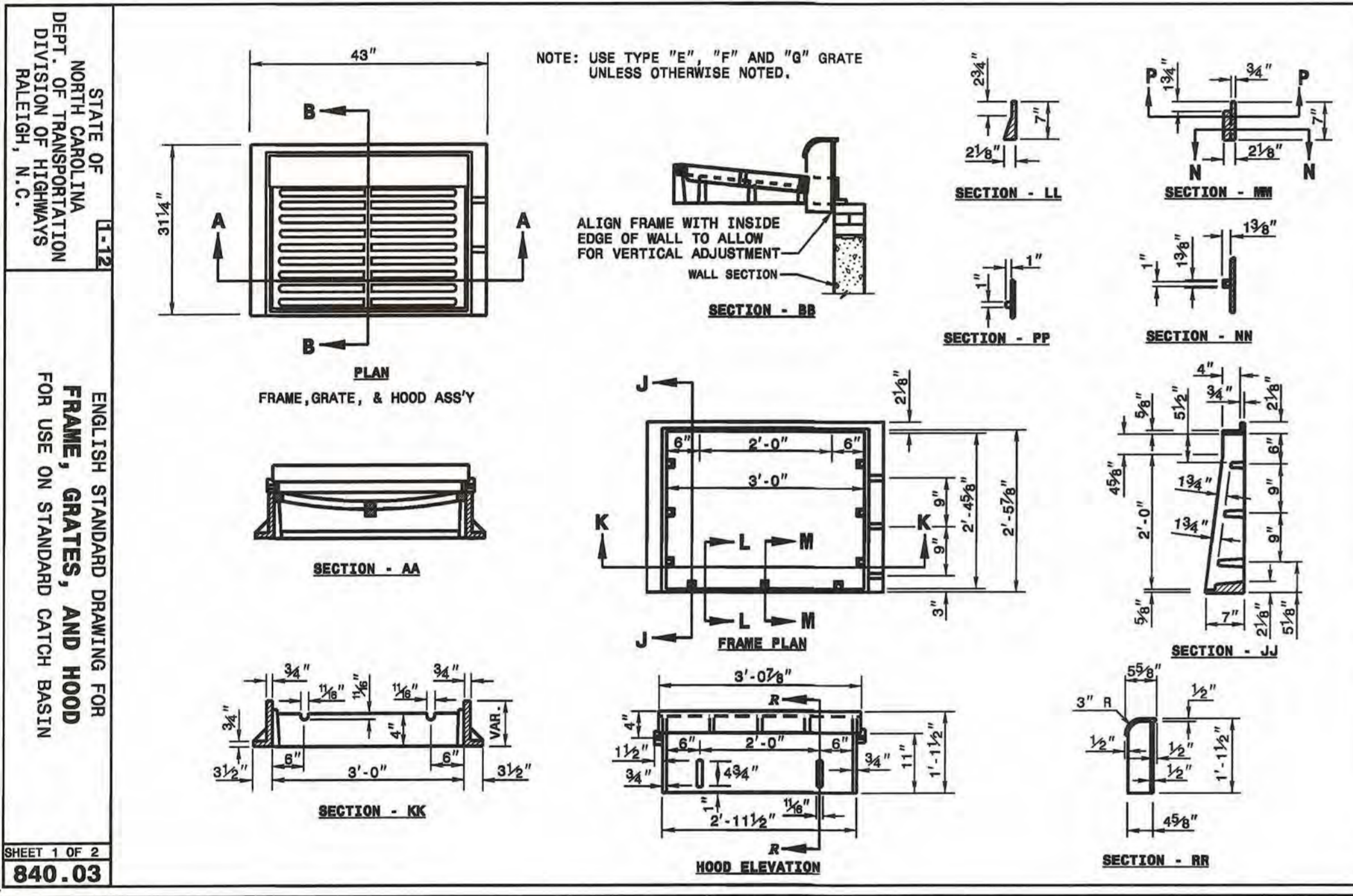
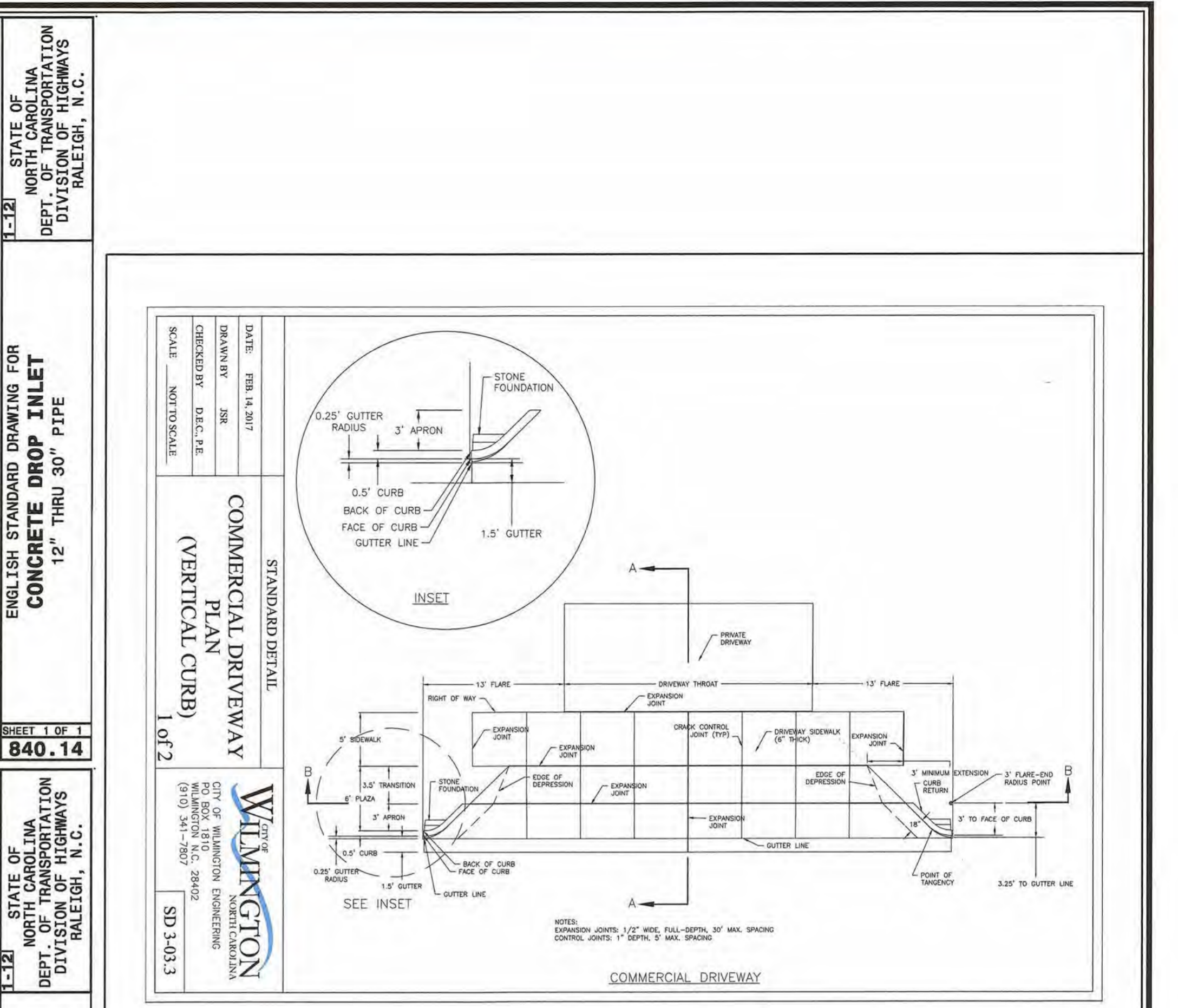
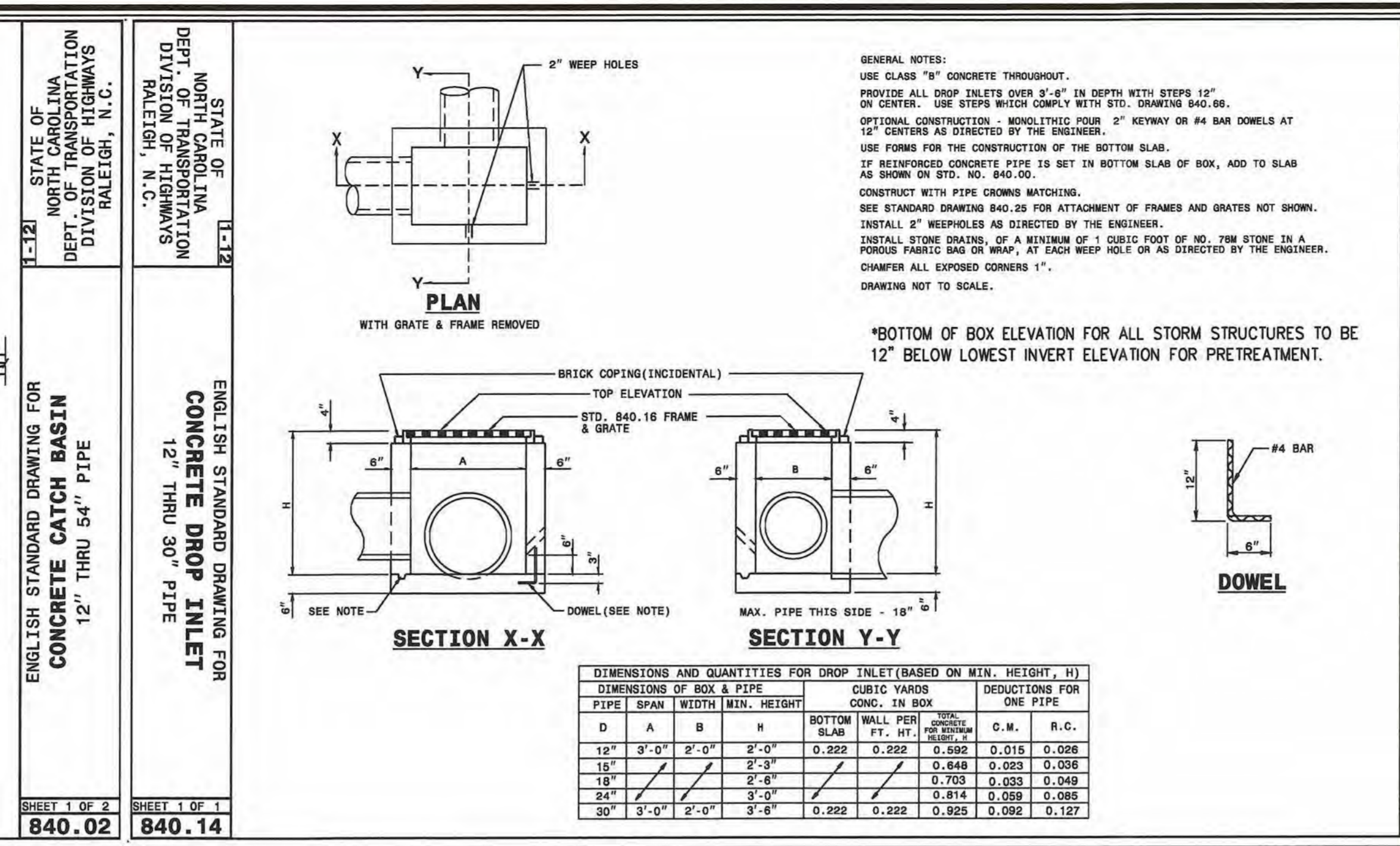
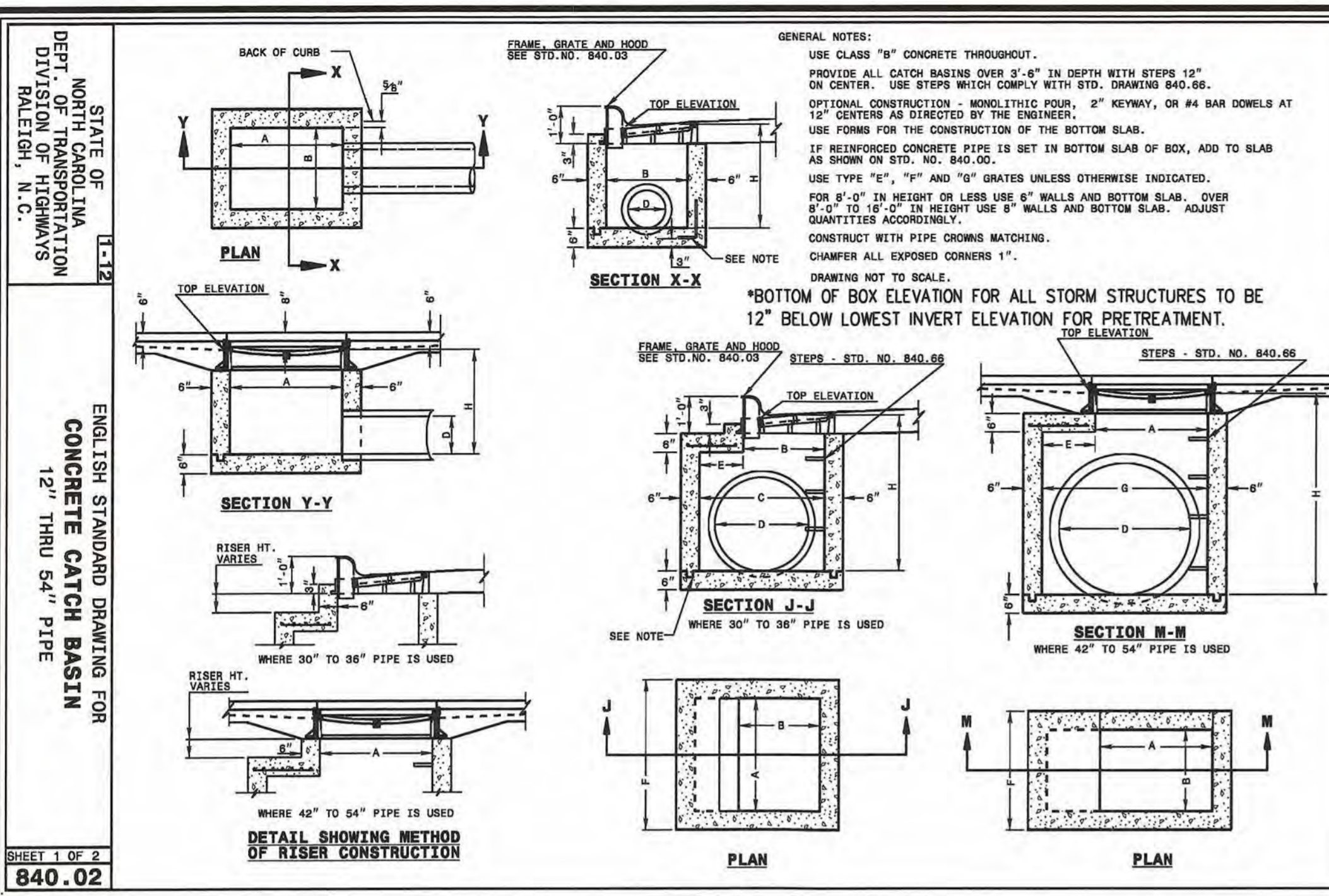
Fire: Greg Ma 4-23-19

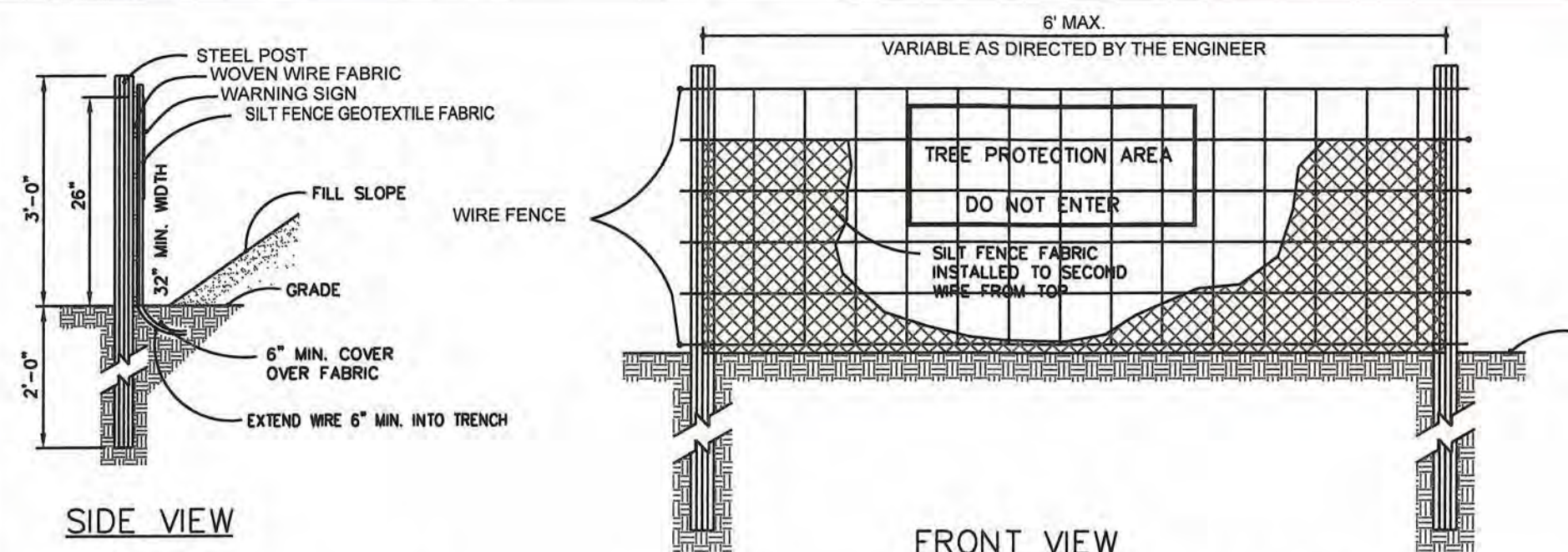
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

APPROVED STORMWATER MANAGEMENT PLAN

Date: 4-23-19 Permit # 2019024

Signed: S-509

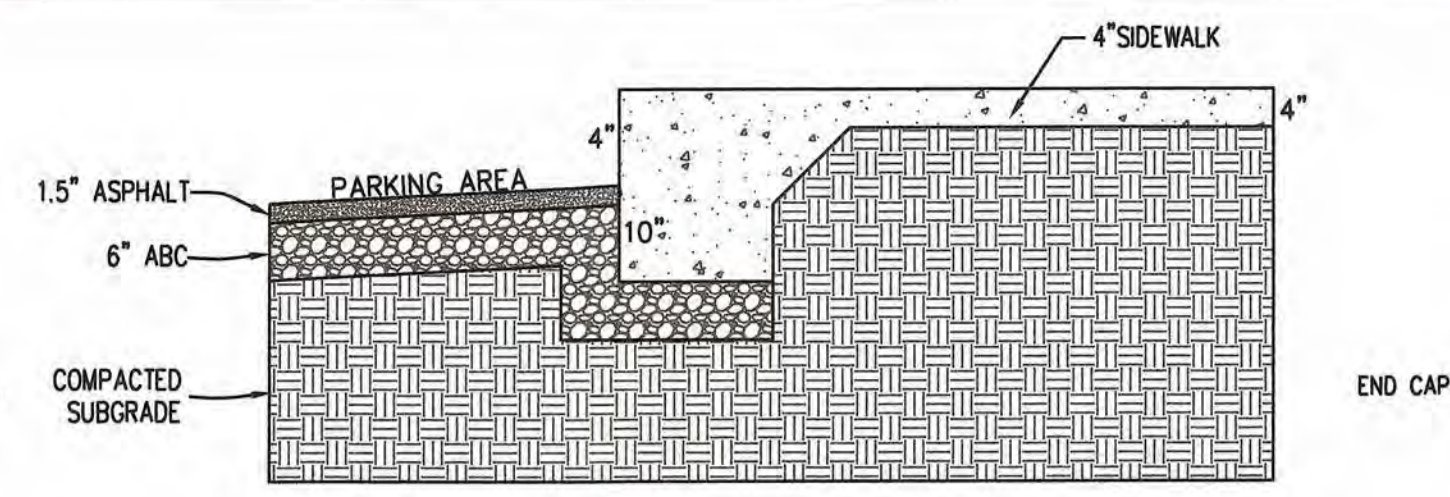




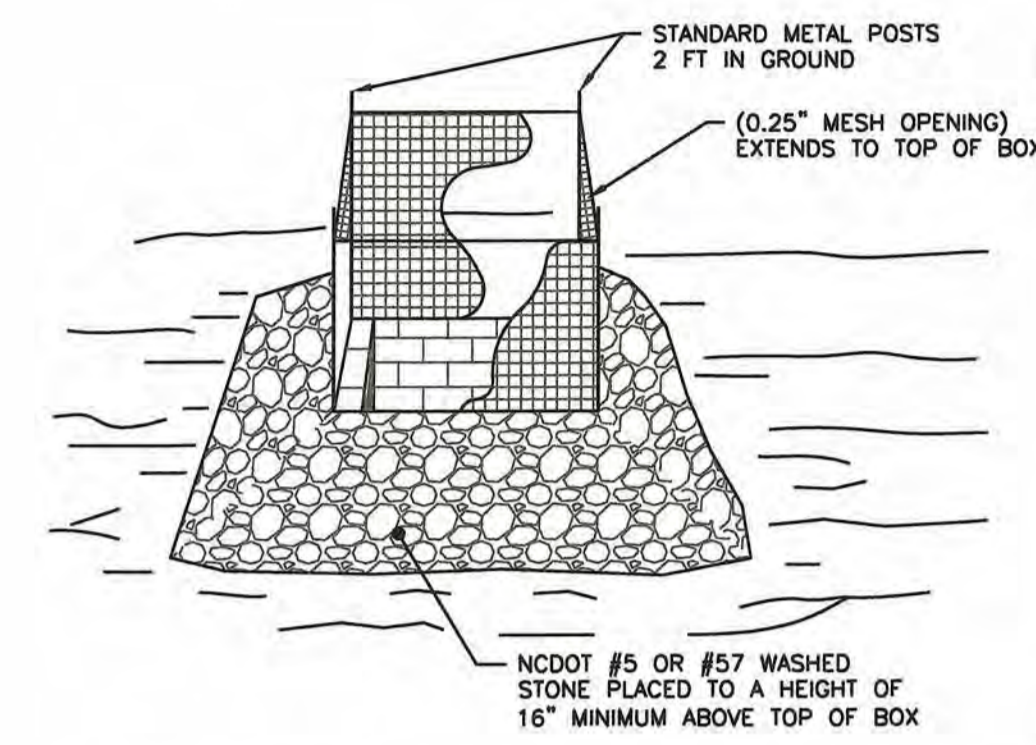
NOTES:
 1. SYNTHETIC FILTER FABRIC SHOULD BE OF AT LEAST 95% BY WEIGHT OF POLYOLEFINS OR POLYESTER, WHICH IS CERTIFIED BY THE MANUFACTURER OR SUPPLIER PER ASTM D 6461 AND SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS PER ASTM D 4355.
 2. WIRE FENCE SHALL BE MINIMUM 14 GAUGE WITH A MAXIMUM MESH OPENING OF 6-INCHES.
 3. SEE THE NC EROSION AND SEDIMENTATION CONTROL MANUAL FOR OTHER SPECIFICATIONS.



STANDARD TEMPORARY SILT / TREE PROTECTION FENCE
N.T.S.

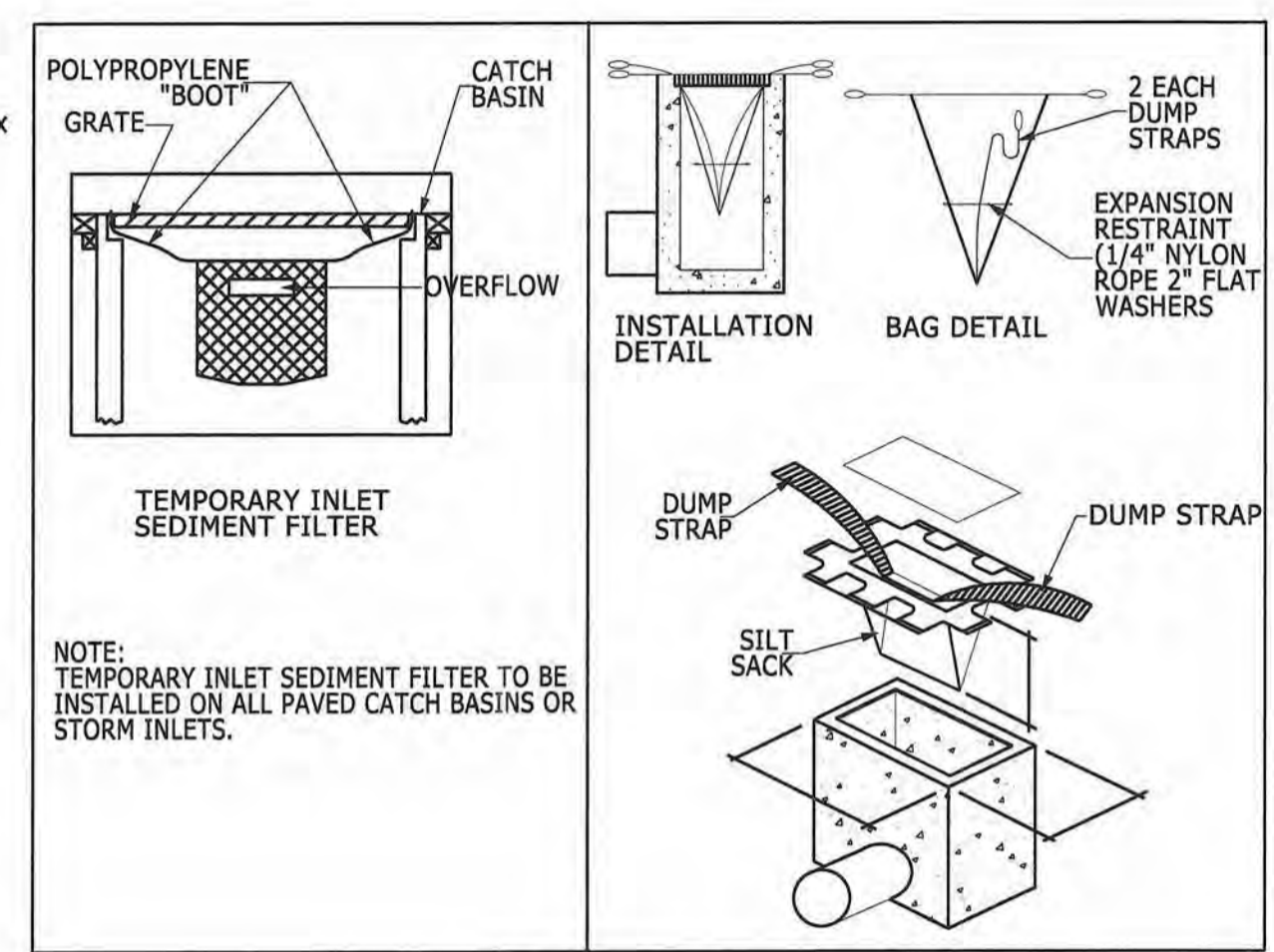


TURNDOWN SIDEWALK DETAIL
N.T.S.



NOTES:
 1. DRIVE 5-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
 2. SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM. PLACING A 1-FOOT FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
 3. PLACE CLEAN GRAVEL (NC DOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A MIN HEIGHT OF 16 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.

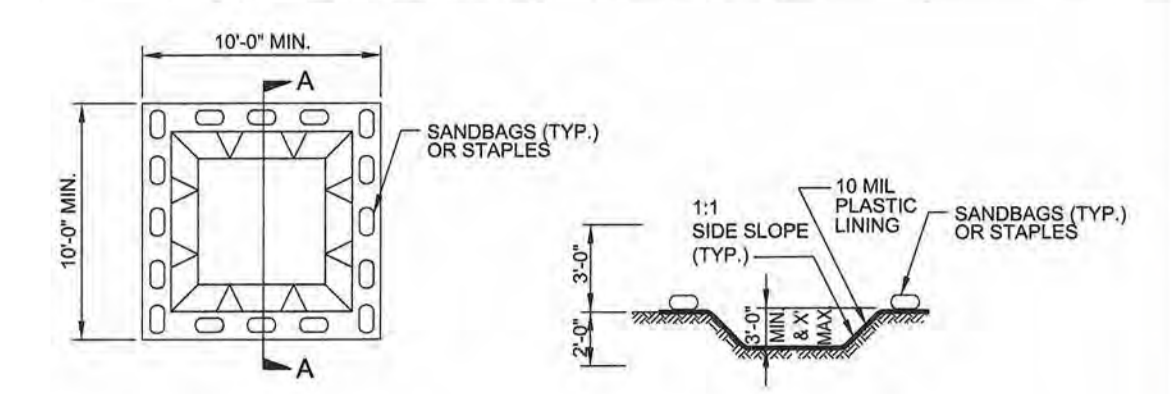
STANDARD INLET PROTECTION
N.T.S.



SILT SACK DETAIL
NOT TO SCALE

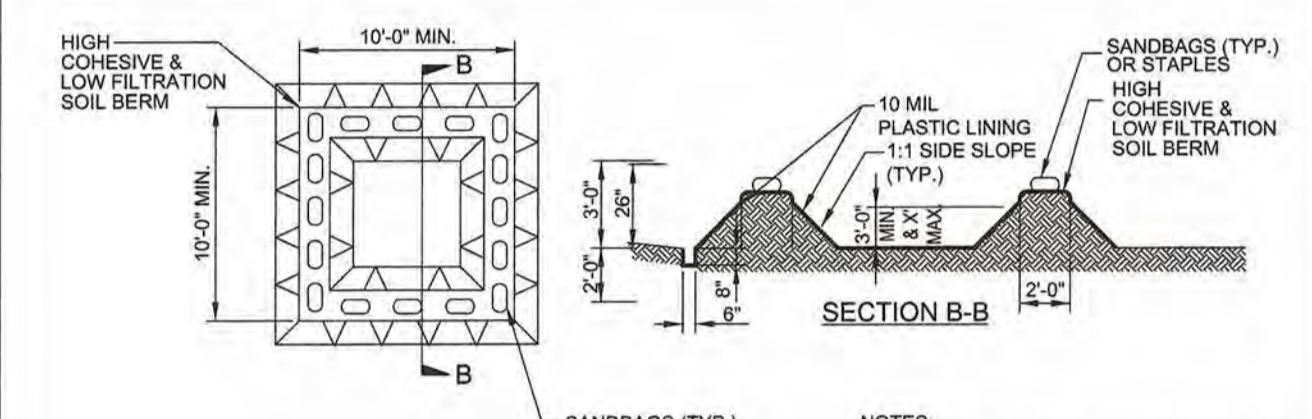
WITH LINER, NO GRAVEL APPROACH

ONSITE CONCRETE WASHOUT STRUCTURE WITH LINER



NOTES:
 1. ACTUAL LOCATION DETERMINED IN FIELD.
 2. THE CONCRETE WASHOUT STRUCTURES SHALL BE MAINTAINED WHEN THE LIQUID AND/OR SOLID REACHES 75% OF THE STRUCTURES CAPACITY.
 3. CONCRETE WASHOUT STRUCTURE NEEDS TO BE CLEARLY MARKED WITH SIGNAGE NOTING DEVICE.

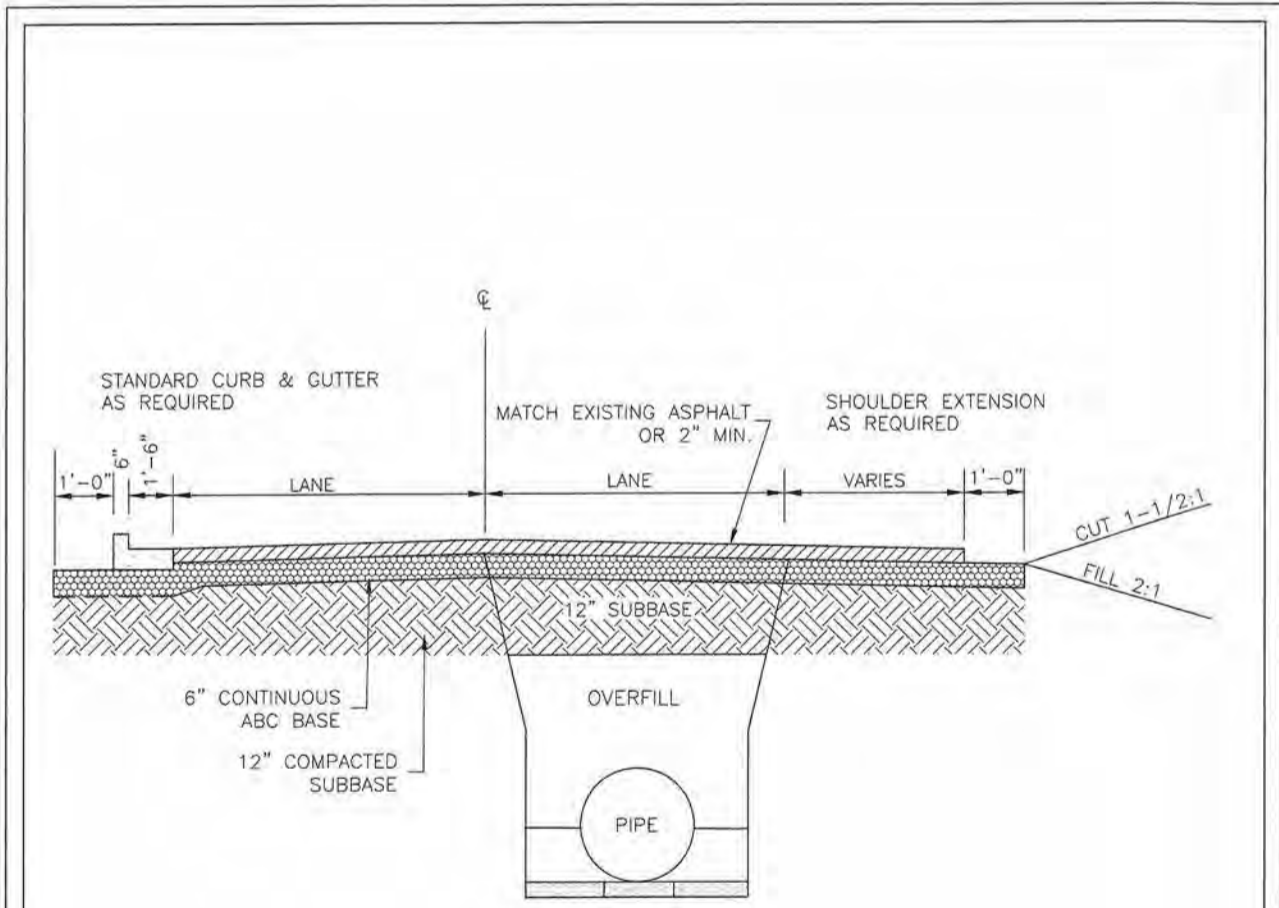
BELOW GRADE WASHOUT STRUCTURE
NOT TO SCALE



NOTES:
 1. ACTUAL LOCATION DETERMINED IN FIELD.
 2. THE CONCRETE WASHOUT STRUCTURES SHALL BE MAINTAINED WHEN THE LIQUID AND/OR SOLID REACHES 75% OF THE STRUCTURES CAPACITY TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM 12 INCHES OF FREEBOARD.
 3. CONCRETE WASHOUT STRUCTURE NEEDS TO BE CLEARLY MARKED WITH SIGNAGE NOTING DEVICE.

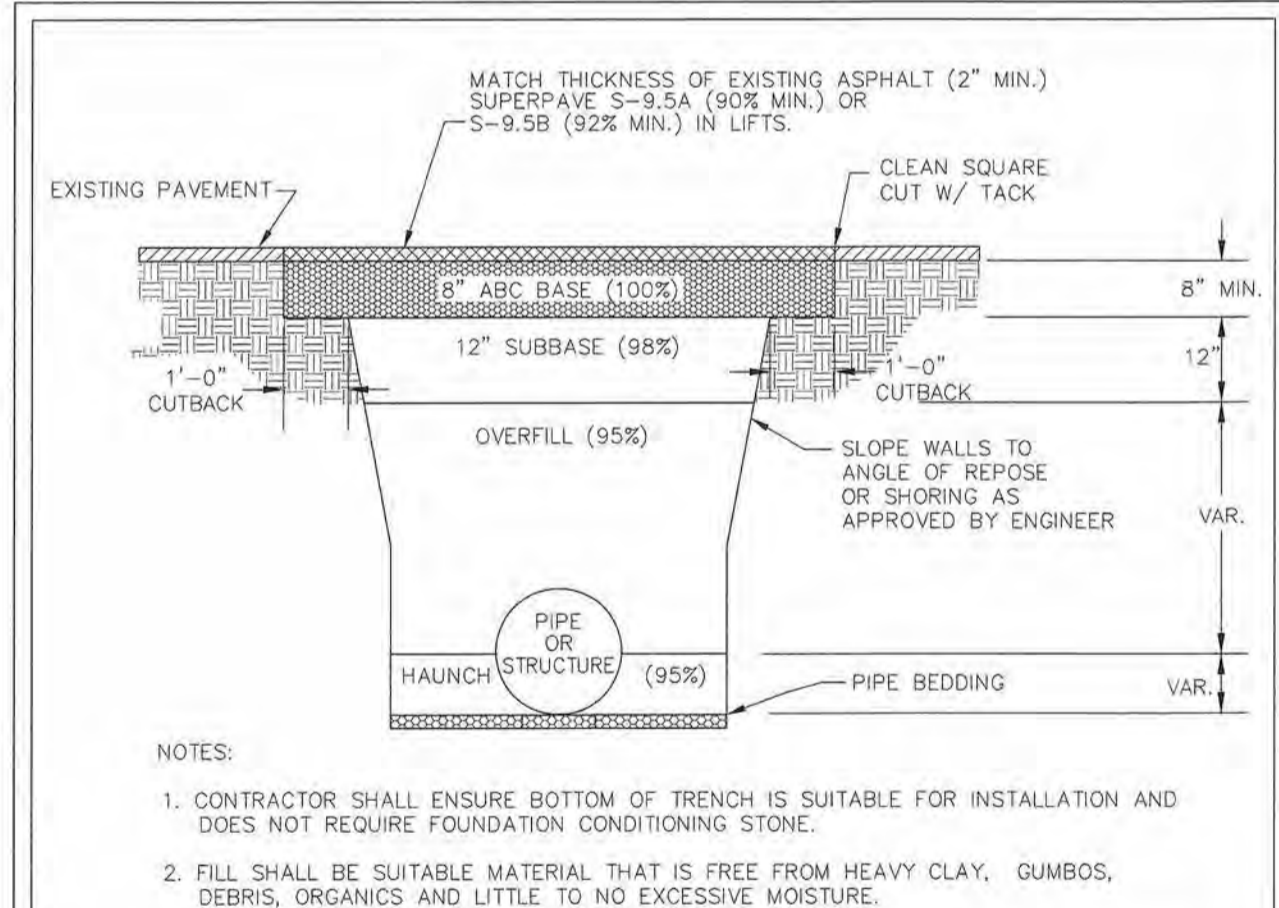
ABOVE GRADE WASHOUT STRUCTURE
NOT TO SCALE

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION



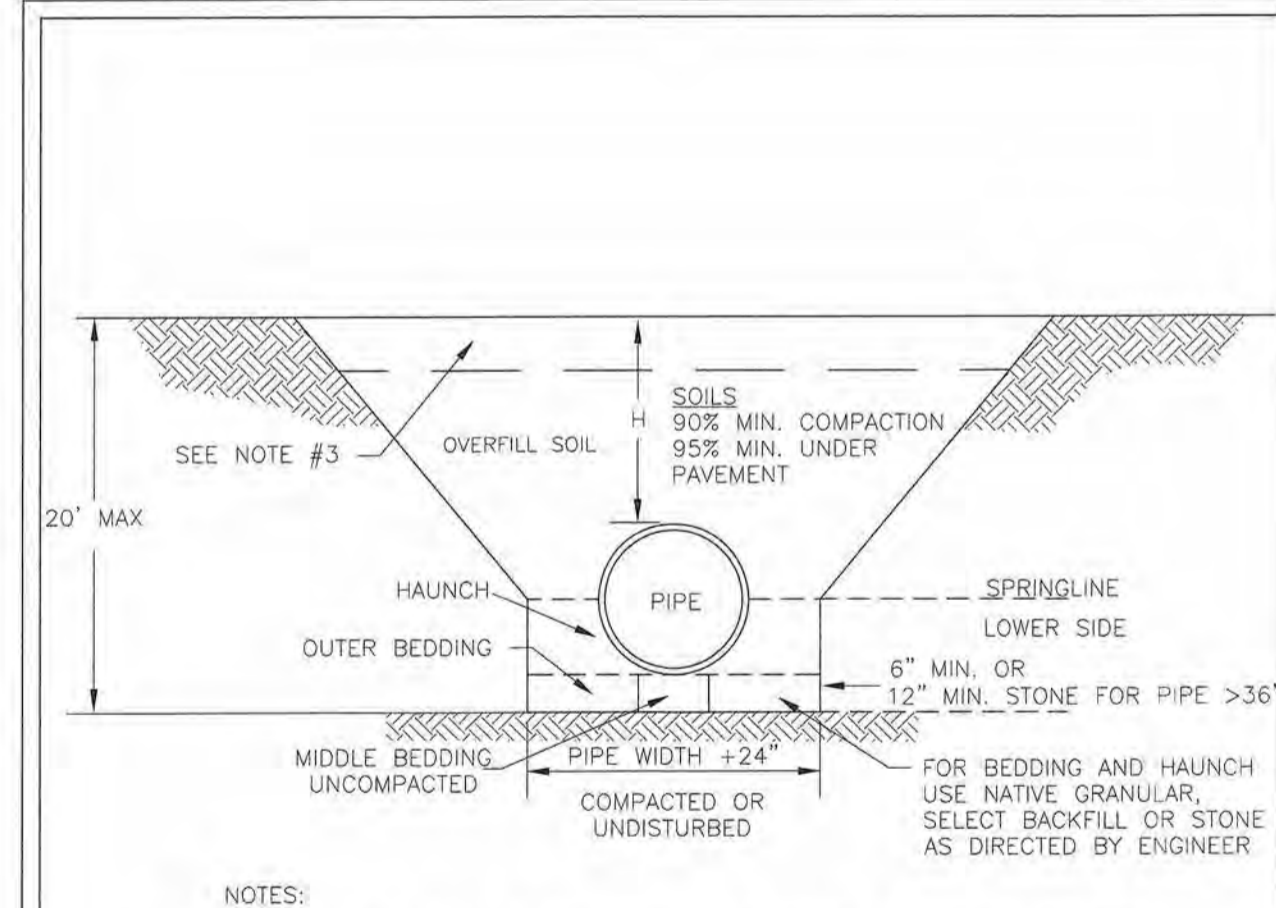
NOTES:
 1. PAVEMENT RESTORATION DESIGN IS DEPENDENT ON CITY STREET CUT POLICY AND PERMITTED CONDITIONS.
 2. PIPE TRENCH AND COMPACTION REQUIREMENTS PER SPECIFICATIONS, SEE SD 1-07 AND SD1-05.

STANDARD DETAIL
TYPICAL ROAD REBUILD
 DATE: MAY, 2013
 DRAWN BY: JSR
 CHECKED BY: B.R., P.E.
 SCALE: NOT TO SCALE
 CITY OF WILMINGTON
 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 212 OPERATIONS CENTER DR.
 WILMINGTON, NC 28412
 (910) 341-7807
 SD 1-04



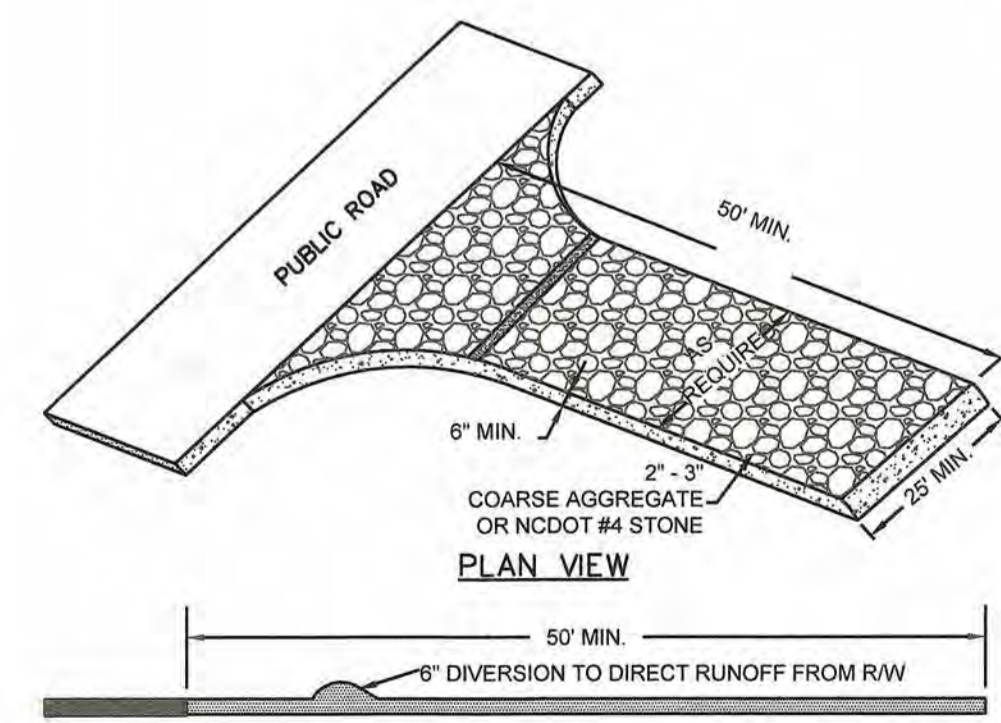
NOTES:
 1. CONTRACTOR SHALL ENSURE BOTTOM OF TRENCH IS SUITABLE FOR INSTALLATION AND DOES NOT REQUIRE FOUNDATION CONDITIONING STONE.
 2. FILL SHALL BE SUITABLE MATERIAL THAT IS FREE FROM HEAVY CLAY, GUMBS, DEBRIS, ORGANICS AND LITTLE TO NO EXCESSIVE MOISTURE.
 3. SELECT BACKFILL MAY BE SUBSTITUTED OR REQUIRED BY CITY TO ACHIEVE COMPACTION, (I.E. #57, ABC, CRUSHED LIMESTONE, CLEAN SAND, FLOWABLE FILL, ETC).
 5. SOIL SHALL BE INSTALLED IN 6"-8" LIFTS AND COMPACTED BY A MECHANIZED TAMPER (I.E. JUMPING JACK). HOWEVER, VIBRATORY ROLLERS > 18" WIDTH MAY BE USED FOR LARGER EXCAVATIONS. THE PLATE TAMP METHOD SHALL NOT BE USED.
 6. ALL APPROVED CASTINGS SHALL BE SET FLUSH TO GRADE AND SUPPORTED IF APPLICABLE.
 7. COMPACT MATERIALS TO MINIMUM % DENSITY SHOWN IN DIAGRAM AS DETERMINED BY THE STANDARD PROCTOR METHOD ASTM D-698-A FOR SOILS; AND ASTM D-698-C FOR ABC STONE; AND BY NUCLEAR GAUGE OR CORE SAMPLE FOR ASPHALT.
 8. CUTBACKS OF ASPHALT SHALL BE PREPARED ON EDGE OF EXCAVATION OVER TOP OF UNDISTURBED SOIL.

STANDARD DETAIL
PAVEMENT REPAIRS-UTILITY CUTS
 DATE: MAY, 2013
 DRAWN BY: JSR
 CHECKED BY: D.E.C., P.E.
 SCALE: NOT TO SCALE
 CITY OF WILMINGTON
 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING OFFICE
 212 OPERATIONS CENTER DRIVE
 WILMINGTON, N.C. 28412
 (910) 341-7807
 SD 1-05

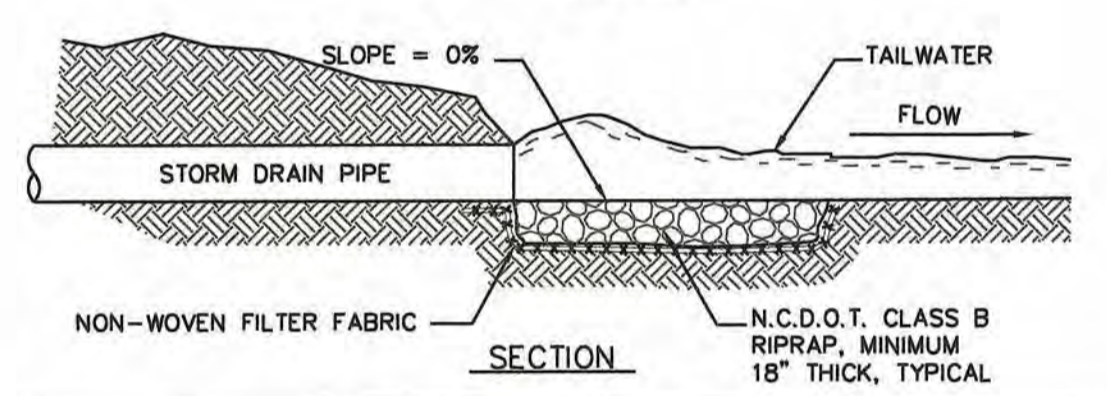
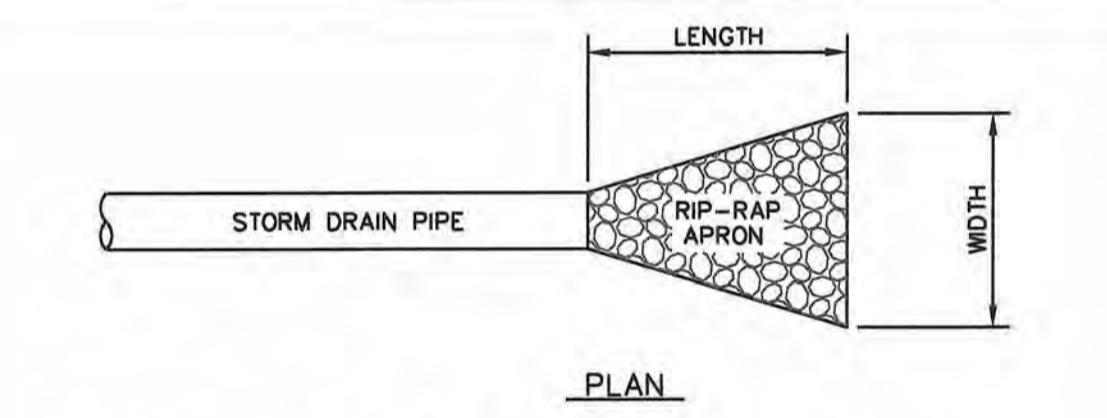


NOTES:
 1. CONTRACTOR SHALL ENSURE BOTTOM OF TRENCH IS SUITABLE FOR PIPE INSTALLATION AND DOES NOT REQUIRE FOUNDATION CONDITIONING STONE.
 2. CONTRACTOR TO INSTALL BEDDING AND PIPE BEFORE INSTALLING HAUNCH AND THEN OVERFILL. SOILS SHALL BE INSTALLED IN 6"-8" LIFTS AND COMPACTED TO MIN. % DENSITY AS DETERMINED BY THE STANDARD PROCTOR ASTM D-698-A METHOD.
 3. WHERE IN PAVEMENT, CONTRACTOR SHALL ADHERE TO CITY STREET CUT POLICY AND SD 1-04 OR SD 1-05 FOR ROAD AND PAVEMENT REBUILD.
 4. SOIL SHALL BE COMPACTED BY A MECHANIZED TAMP (I.E. JUMPING JACK). HOWEVER, VIBRATORY ROLLERS > 18" WIDTH MAY BE USED FOR LARGER EXCAVATIONS. THE PLATE TAMP METHOD SHALL NOT BE USED.
 5. THIS DETAIL IS REPRESENTATIVE OF PIPE TRENCH DESIGN IS SUBJECT TO SPECIFIC SOIL CATEGORY (I, II, III), AND INSTALLATION TYPE (1, 2, 3, 4), AS DIRECTED BY THE ENGINEER AND SITE CONDITIONS.

STANDARD DETAIL
PIPE TRENCH TYPICAL
 DATE: MAY, 2013
 DRAWN BY: JSR
 CHECKED BY: BDR, P.E.
 SCALE: NOT TO SCALE
 CITY OF WILMINGTON
 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING OFFICE
 212 OPERATIONS CENTER DRIVE
 WILMINGTON, N.C. 28412
 (910) 341-7807
 SD 1-07



TEMPORARY CONSTRUCTION ENTRANCE
N.T.S.



RIPRAP LOCATIONS	LENGTH (FT.)	UPSTREAM WIDTH (FT.)	DOWNSTREAM WIDTH (FT.)
15" CULVERT	7.5	3.75	5.0
18" CULVERT	9.0	4.5	6.0
24" CULVERT	12.0	6.0	8.0
30" CULVERT	15.0	7.5	10.0
36" CULVERT	18.0	9.0	12.0
48" CULVERT	24.0	12.0	16.0

RIP-RAP OUTLET PROTECTION
N.T.S.

Approved Construction Plan
 Name: [Signature] Date: 4-23-19
 Planning: [Signature] 4-23-19
 Traffic: [Signature] 4-23-19
 Fire: [Signature] 4-23-19
 City of WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: 4-23-19 Permit # 2019024
 Signed: [Signature]

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



No.	Revision	Date	By

Designer: GSP Scale: 1" = 30'
 Drawn By: JSR Date: August 2018
 License #: P-0718 Job No.: 2018-0006

PINNACLE 3RD STREET
 Wilmington New Hanover County North Carolina

STANDARD DETAILS

PREPARED FOR:
 ROBERT HIGH DEVELOPMENT, LLC
 223 GREENVILLE AVENUE
 WILMINGTON, NC 28403
 910-790-9490

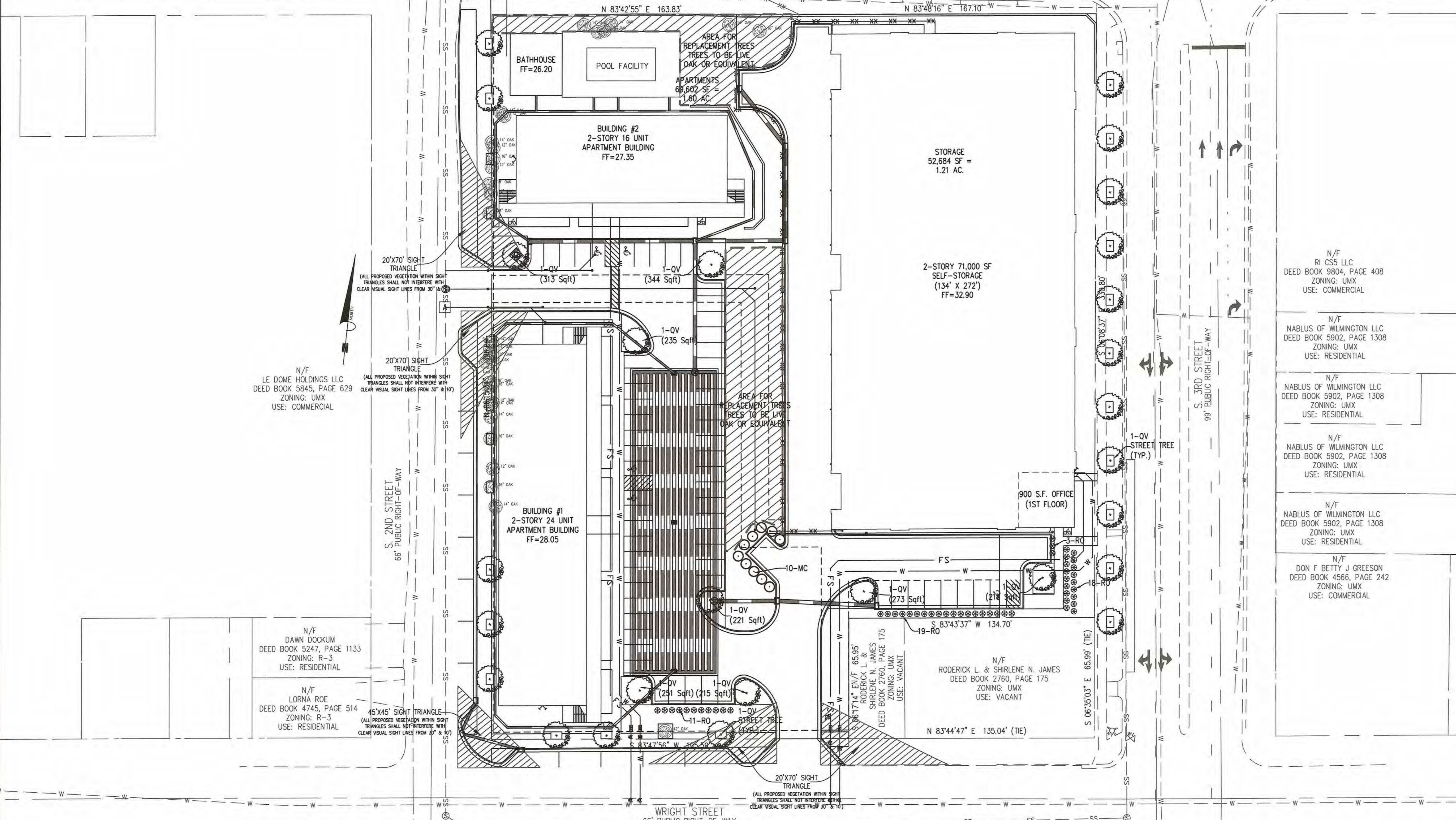
GSP CONSULTING, PLLC
 ENGINEERING
 6626 Gordon Road Unit C Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659

Sheet No. **C-9**

PLANT LIST-OR EQUIVALENTS

KEY	NO.	BOTANICAL NAME	COMMON NAME	MIN. SIZE	TYPE (SHRUB, CANOPY TREE OR UNDERSTORY TREE)	SIZE (LARGE OR SMALL)	SHADING SF GIVEN (TREES ONLY)	PLANTING REMARKS
QV	28	QUERCUS VIRGINIANA	LIVE OAK	8'-10" HI. 2.5" CAL.	CANOPY	LARGE	707	SPACING AS SHOWN
MC	10	MYRICA CERIFERA	SOUTHERN WAX-MYRTLE	5-6' HT				SPACING AS SHOWN
RO	51	RHOODENDRON OBTUSUM	KURUME AZALEA	24" MIN. 3 GAL.	SHRUB			4"-O.C. 3'-5' HT

O.C. = "ON CENTER" CAL. = "CALIPER AT 6" ABOVE GRADE" GAL. = "GALLON CONTAINER"
MIN. PLANTING SIZE: SHADE TREES=2-2.5" CAL. MULTI-STEM=8-10" SHRUBS=12"



Landscape Calculations: (Note: All regulated & significant trees have been field located and are labeled.)

	Req'd.	Prov'd.
Street Trees		
3rd Street =301 l.f. Street Frontage @ 1 tree / 30 ft.	10	11
Wright Street =165 l.f.-25 driveway = 140 l.f. Street Frontage @ 1 tree / 30 ft.	4	3-PROPOSED 1-EXISTING 4-TOTAL
2nd Street =367 l.f.-25 driveway = 342 l.f. Street Frontage @ 1 tree / 30 ft.	11	5-PROPOSED 6-EXISTING 11-TOTAL
Parking Area Interior (20% Shading)- 20,178 s.f. X 20% 7 PROPOSED LIVE OAKS AT FULL CREDIT (@707 SF)	4,036 s.f.	4,949 s.f.
Overall Development Area - 2.81 ac ± development area x 15 trees/ac. Signif. Tree removal mitigation -	42 64 (SEE CHART) 30" OAK 36" OAK	28 PROPOSED 93 EXISTING 121 TOTAL
TOTAL TREES REQUIRED	106	

NOTES:
ALL SURFACE PARKING LOTS VISIBLE FROM THE PUBLIC RIGHT-OF-WAY SHALL BE SCREENED BY PERMANENT WALLS, SHRUBBERY OR HEDGES AT LEAST THREE (3) FEET IN HEIGHT. IF HEDGES OR SHRUBBERY ARE USED, THEY SHALL BE AT THREE (3) FEET IN HEIGHT AT THE TIME OF PLANTING AND SHALL BE MAINTAINED AT THREE (3) TO FIVE (5) FEET IN HEIGHT AT ALL TIMES.

MITIGATION CALCULATIONS

TREE TO BE REMOVED	DIAMETER (in)	# OF TREES REQUIRED
OAK	30	20
OAK	30	20
OAK	36	24
TOTAL		64*

*64 EXISTING TREES 2"-5" DBH TO BE RETAINED ON SITE AND SUPPLEMENTED WITH NEW PLANTINGS AS REQUIRED

- LANDSCAPE AREAS
- STREET YARD LANDSCAPING
 - FOUNDATION LANDSCAPING
 - PARKING INTERIOR PLANTING

- TREE LEGEND / INVENTORY
- DOGWOOD
 - GUM
 - OAK
 - CREPE MYRTLE
 - SYCAMORE
 - PINE
 - BIRCH
 - ELM
 - MAGNOLIA
 - MAPLE
 - POPLAR
 - HICKORY

- Plant Key
- Trees
- QV - LIVE OAK
 - MC - SOUTHERN WAX-MYRTLE
- Shrubs
- RO - KURUME AZALEA

Approved Construction Plan

Name: W. Walters Date: 4-23-19

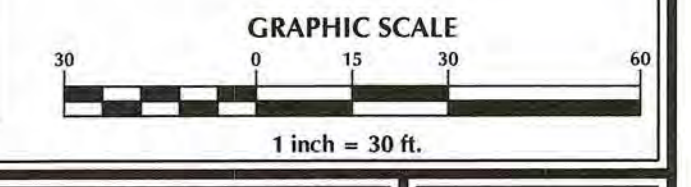
Planning: W. Walters 4-23-19

Traffic: W. Walters 4-23-19

Fire: W. Walters 4-23-19

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: 4-23-19 Permit # 2019024
Signed: S. J. J.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



No.	Revision	Date	By

Designer: GSP Scale: 1" = 30'
Drawn By: GSP Date: August 2018
License #: P-0718 Job No.: 2018-0006

PINNACLE 3RD STREET
New Hanover County
North Carolina

LANDSCAPE PLAN

PREPARED FOR:
ROBERT HIGH DEVELOPMENT, LLC
223 GREENVILLE AVENUE
WILMINGTON, NC 28403
910-790-9490

GSP CONSULTING, PLLC
ENGINEERING
6626 Gordon Road Unit C Wilmington, North Carolina 28411 tel: 910-442-7870 fax: 910-799-6659

Sheet No.
L-1



WEST ELEVATION
 A1.22 1/8"

TYPICAL ELEVATION FINISHES

- Silver colored metal roof typical.
- Brake metal fascia and painted wood trim
- Vinyl fixed, casement or awning windows.
- Stucco or cement board siding.
- Metal stair and rail.
- Brick veneer accents.
- Stucco covered columns.



SOUTH ELEVATION
 A1.24 1/8"



NORTH ELEVATION
 A1.26 1/8"

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

STORMWATER MANAGEMENT PLAN APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE 4-23-19 PERMIT# 2019024
 SIGNED *S. J. Lee*

Approved Const. Plan
 Name *J. Walt* Date 4-23-19
 Planning
 Public Utilities *W. Edwards* 4-23-19
 Traffic
 Fire *Janet MA* 4-23-19



EAST ELEVATION
 A1.28 1/8"

PINNACLE 3RD & WRIGHT
 BUILDING 1 (MULTI-FAMILY)

BLD. ONE ELEVATIONS

201 WRIGHT STREET
 WILMINGTON, NC

SCHEMATIC DRAWINGS
 MARCH 25, 2019



NORTH ELEVATION
A2.22 1/8"



WEST ELEVATION
A2.24 1/8"



EAST ELEVATION
A2.26 1/8"



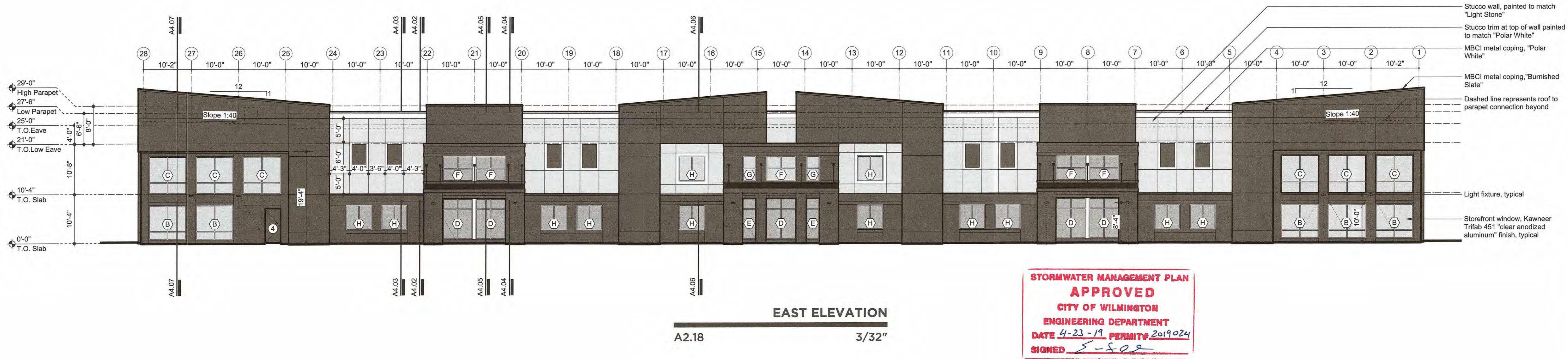
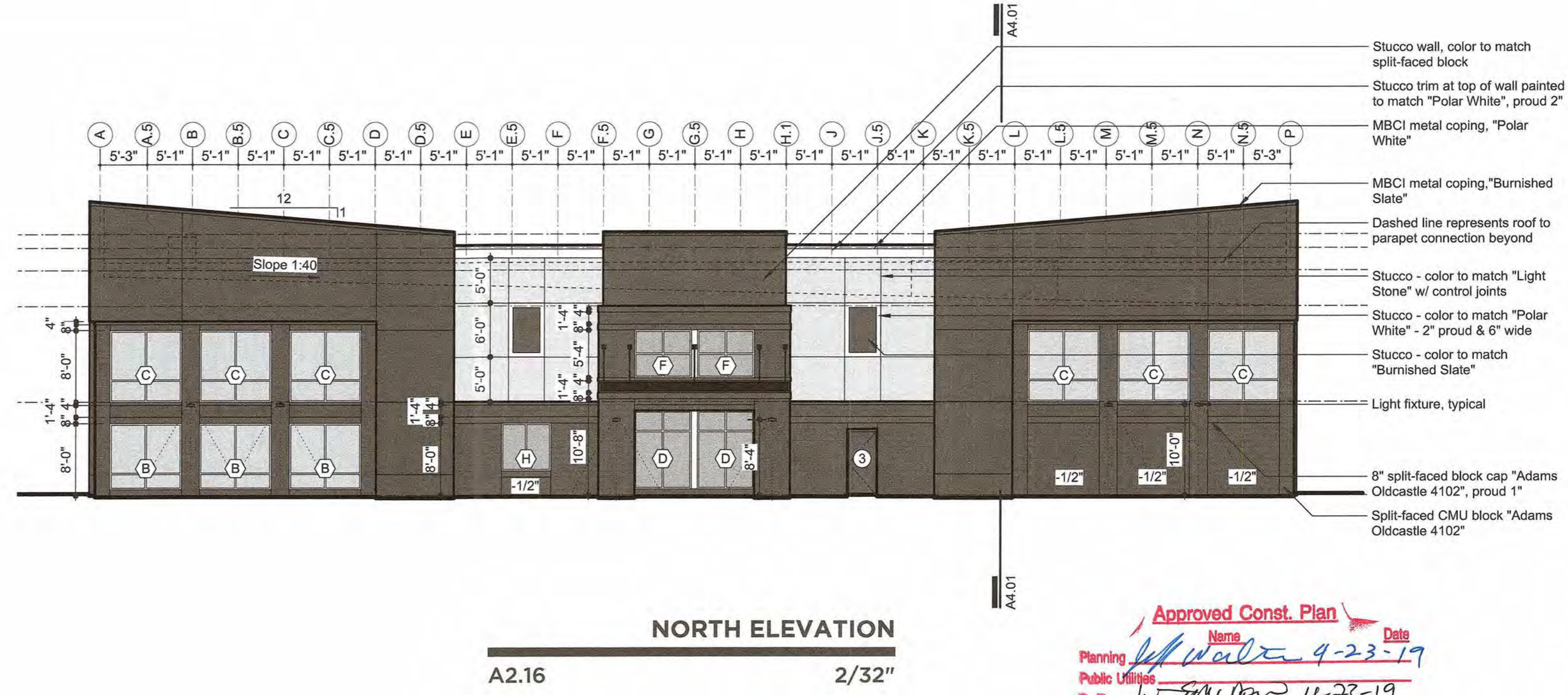
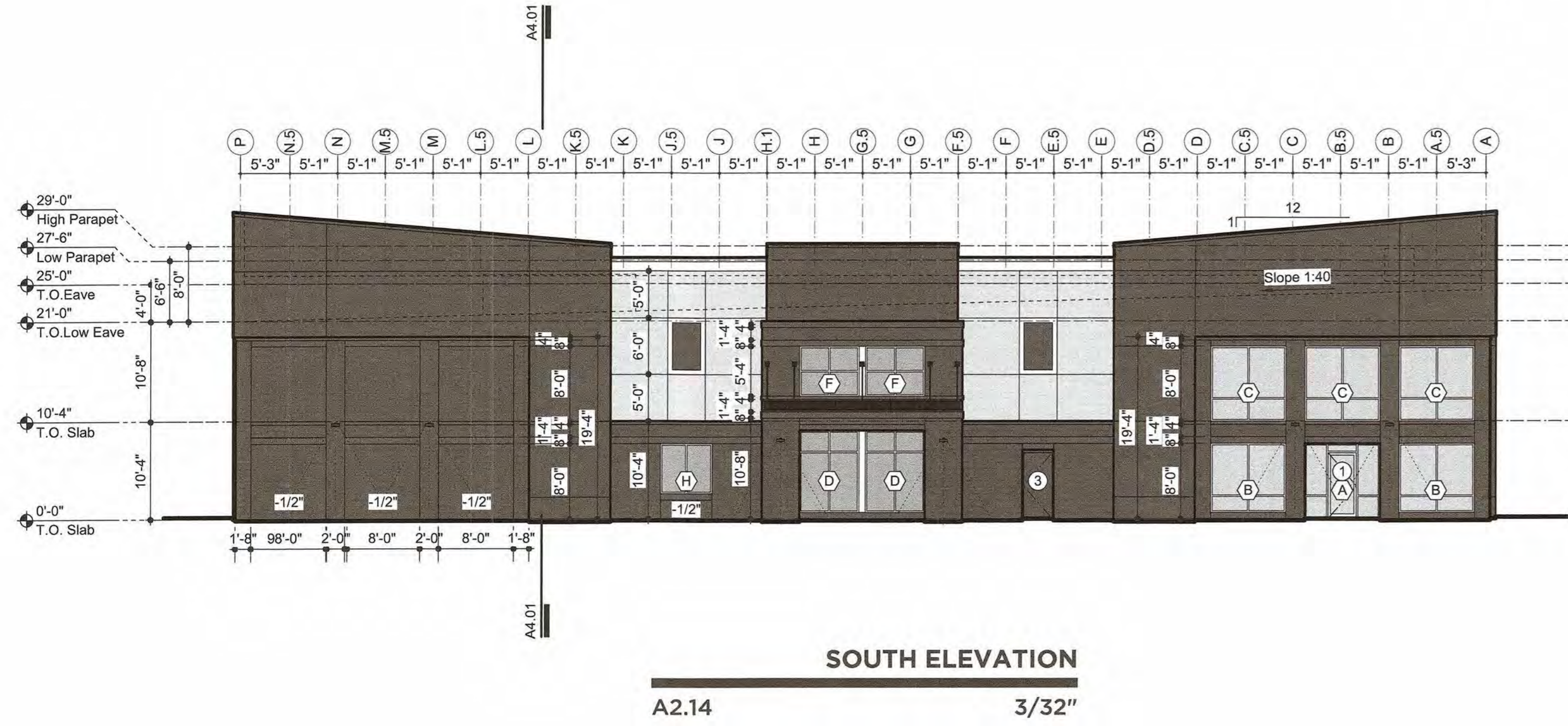
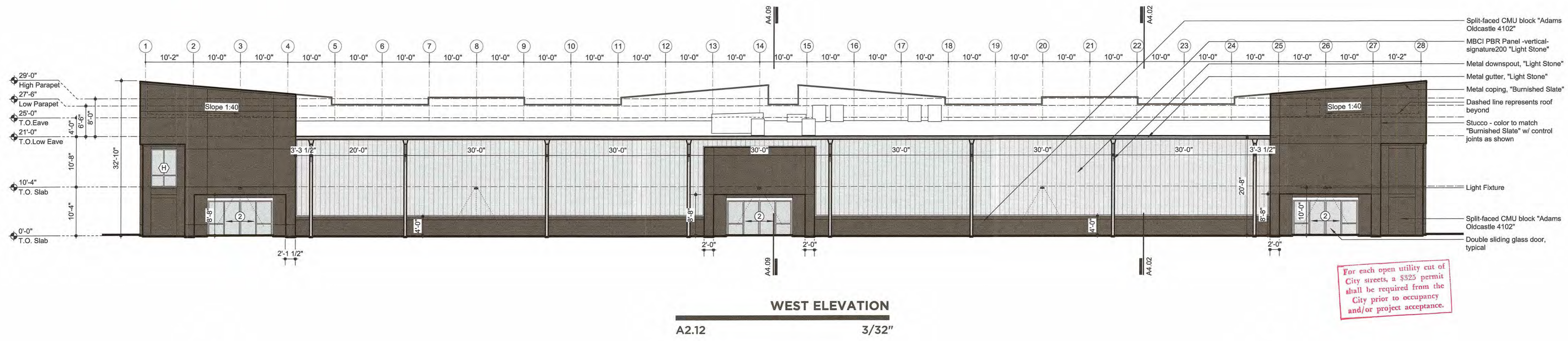
SOUTH ELEVATION
A2.28 1/8"

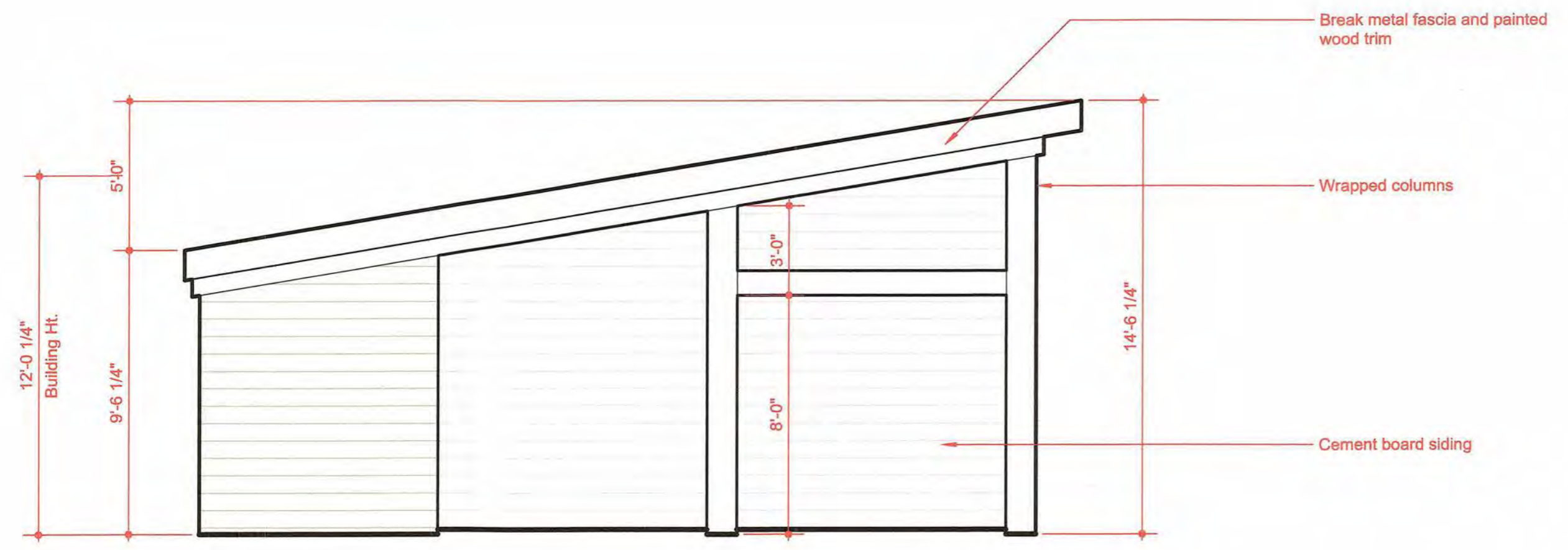
For each open utility cut of City streets, a \$825 permit shall be required from the City prior to occupancy and/or project acceptance.

STORMWATER MANAGEMENT PLAN
APPROVED
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
DATE 4-23-19 PERMIT # 2019024
SIGNED *E. S. O.*

Approved Const. Plan

Name	Date
Planning <i>[Signature]</i>	4-23-19
Public Utilities <i>[Signature]</i>	4-23-19
Traffic <i>[Signature]</i>	4-23-19
Fire <i>[Signature]</i>	4-23-19

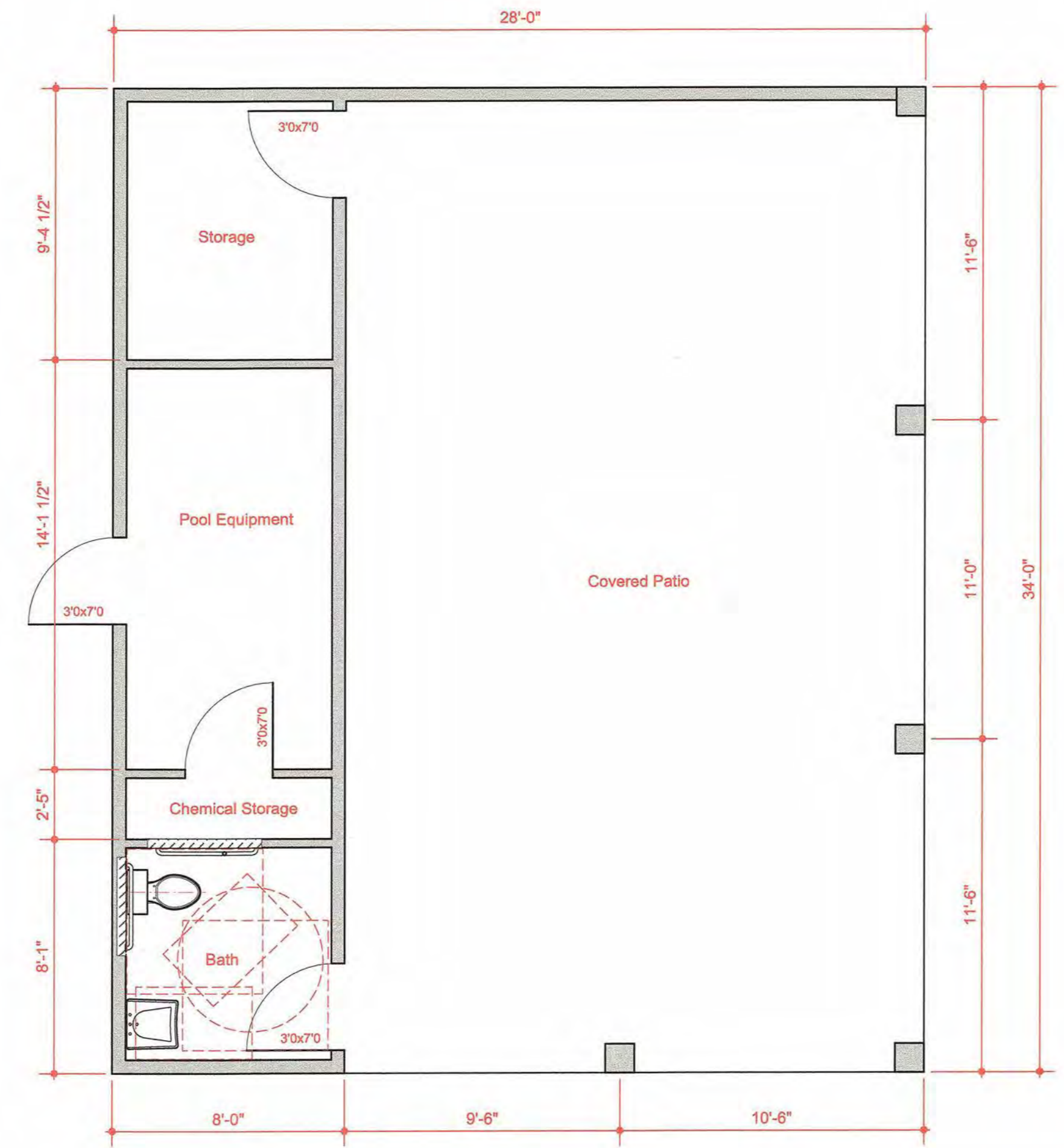




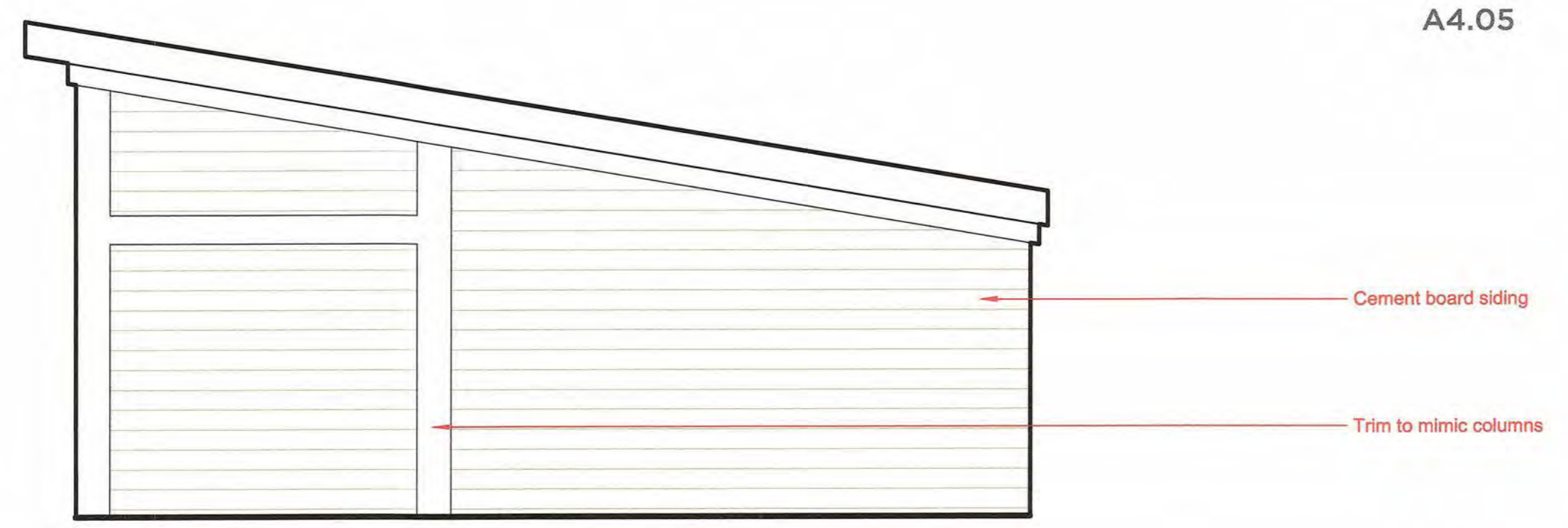
SOUTH ELEVATION
 A4.01 1/4"



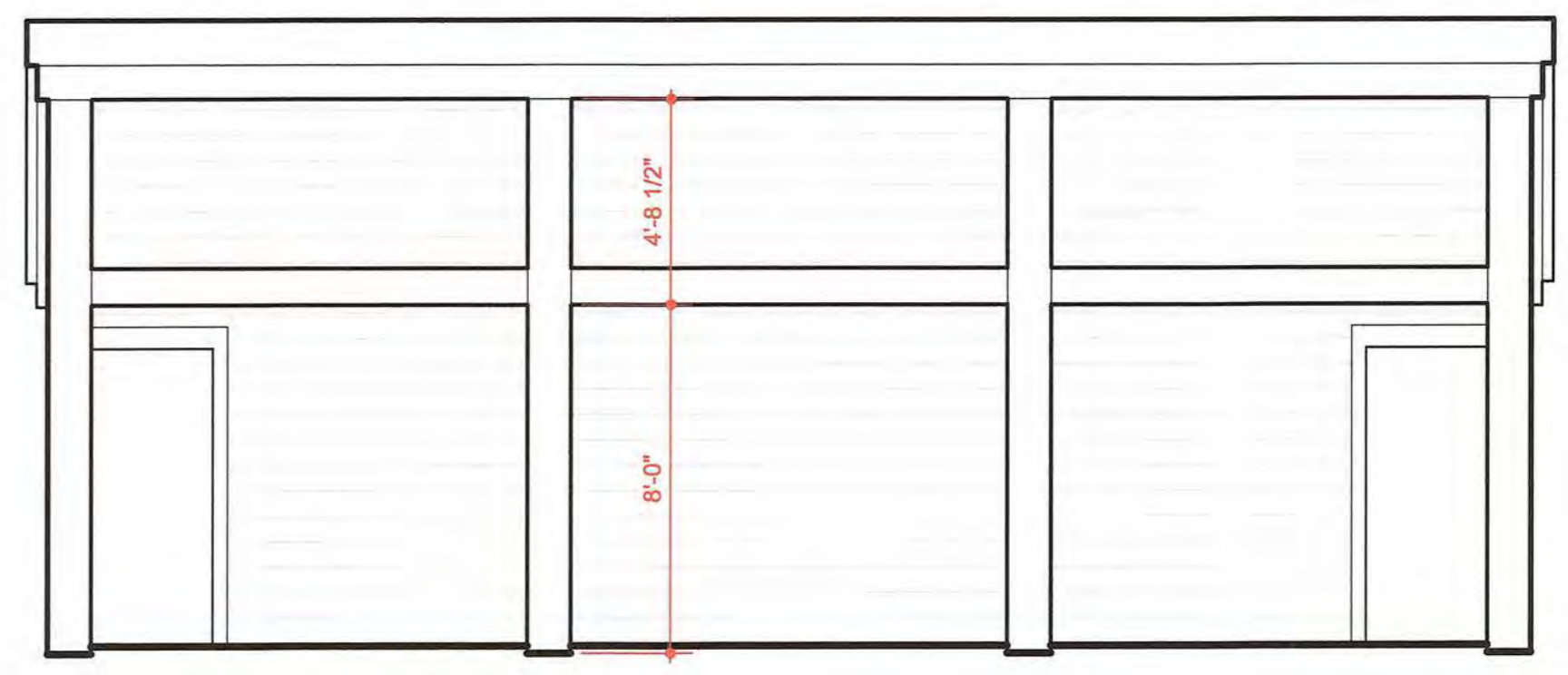
WEST ELEVATION
 A4.03 1/4"



FLOOR PLAN
 A4.05 1/4"



NORTH ELEVATION
 A4.07 1/4"



EAST ELEVATION
 A4.09 1/4"

STORMWATER MANAGEMENT PLAN APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE 4-23-19 PERMIT# 2019024
 SIGNED *E-see*

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Const. Plan
 Name *[Signature]* Date 4-23-19
 Planning *[Signature]*
 Public Utilities *[Signature]*
 Traffic *[Signature]*
 Fire *[Signature]*